

250 M STREET, SE

PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C 03 MAY 07



EXHIBIT B
APPROVED
ARCHITECTURAL PLANS & DRAWINGS

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PROJECT TEAM

OWNER -

SQUARE 769, LLC
 1100 New Jersey Ave., SE Suite 1000
 Washington, DC 20003

District of Columbia Housing Authority
 1133 North Capitol Street, NE
 Washington, DC 20002
 202-535-1000

DEVELOPER -

William C. Smith & Company, Inc.
 1100 New Jersey Ave., SE Suite 1000
 Washington, DC 20003
 202-465-7028

CIVIL ENGINEER
VIKA, Inc.
 8180 Crossmacro Drive Suite 200
 McLean, VA 22102
 703-442-7800

MEP ENGINEER
Grand Engineering, P.C.
 1355 Beverly Road, Suite 240
 McLean, VA 22101
 703-442-8787

ZONING COMMISSION
 District of Columbia
 CASE NO. 03-12F/03-13F

ARCHITECT

Hickok Cole Architects
 1023 31ST STREET, NW
 Washington, DC 20007
 202-667-8776

Structural Zimbrick & Smith, Inc.
 1801 Connecticut Ave, Suite 402
 Washington, DC 20006
 202-233-2500

Parker Rodriguez, Inc.
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 Alexandria, Virginia 22314-3231
 703-548-5010

ZONING COMMISSION
 District of Columbia
 CASE NO. 03-12F/03-13F
 EXHIBIT NO. 3

PUD CHECKLIST

SECTION	ITEM	SHEET NO.
2406.12(b)	AREA AND DIMENSIONS OF EACH LOT EXACT AREA OF TOTAL SITE	C-1.1 C-1.1
	PERCENTAGE OF LOT OCCUPANCY: FOR EACH BUILDING ON EACH LOT FOR ALL BUILDINGS ON ENTIRE SITE	T0.00 T0.00
	GROSS FLOOR AREA AND FLOOR AREA RATIO: FOR EACH BUILDING ON EACH LOT FOR ALL BUILDINGS ON ENTIRE SITE INCLUDING A BREAKDOWN FOR EACH	T0.00 T0.00 T0.00
2406.12(c)	DETAILED SITE PLAN: LOCATION AND EXTERNAL DIMENSIONS OF ALL BUILDINGS AND STRUCTURES	A1.05
	UTILITIES AND OTHER EASEMENTS	C-2.0
	WALKWAYS AND DRIVEWAYS	C-2.0, L1-1
	PLAZAS, ARCADES AND OPEN SPACES	C-2.0, L1-1
2406.12(d)	DETAILED LANDSCAPING AND GRADING PLAN: EXISTING TOPOGRAPHY, CONTOURS, NATURAL FEATURES, LANDSCAPING	C-2.0, L1-1 N/A
	GRAPHIC ILLUSTRATION OF GRADES EXCEEDING 15% IN 5% INCREMENTS	C-2.0, L1-1
	EXISTING TREES OF 6" CALIPER OR GREATER	C-2.0, L1-2
	NEW CONTOURS, PROPOSED FINISHED GRADES, PLANTING, AND LANDSCAPING	C-2.0, L1-1
2406.12(e)	PROPOSED DRAINAGE, INCLUDING WATER AND SEWER LINES, INLETS AND BASINS, CONNECTIONS TO PUBLIC WATER AND SEWER LINES ARCHITECTURAL PLANS: PROPOSED EROSION CONTROLS TYPICAL FLOOR PLANS AND ELEVATIONS FOR EACH BUILDING	C-3.0, C-3.1 A1.01-A2.04
	SECTIONS FOR EACH BUILDING	A3.01-A3.02
	SECTIONS FOR ENTIRE PROJECT	A3.01-A3.02
	SECTIONS AND ELEVATIONS FOR ENTIRE SQUARE CIRCULATION PLAN:	A3.01-A3.02
2406.12(f)	DRIVEWAYS AND WALKWAYS, INCLUDING WIDTHS, GRADES, AND CURB CUTS	A0.02-A0.03, L1-1
	LOCATION AND NUMBER OF PARKING SPACES	A1.01
	LOCATION AND NUMBER OF LOADING BERTHS	T0.00, A1.05 A1.01-A1.04
2406.12(g)	SECTION ORIENTATIONS FOR DIFFERENT USES APP. FORM	A0.04 C-1.1

Section 2406.12 (b)

DETAILS

AREA AND DIMENSIONS

SEE C-1.1

PERCENTAGE OF LOT OCCUPANCY
= BUILDING AREA/LOT AREA
= 23,280.97 S.F./27,960.90 S.F.
= 83.28%

GROSS FLOOR AREA CALCULATION

FIRST FLOOR
TOTAL 23,280.97
EXCLUSION 2,014.94
COUNTED 21,266.03

SECOND FLOOR
TOTAL 21,793.30
EXCLUSION 266.76
COUNTED 21,526.54

THIRD FLOOR-SEVENTH FLOORS
TOTAL 23,025.31
EXCLUSION 93.81
COUNTED 22,931.50

EIGHTH FLOOR
TOTAL 22,073.20
EXCLUSION 93.81
COUNTED 21,979.39

NINTH FLOOR
TOTAL 22,073.20
EXCLUSION 93.81
COUNTED 21,979.39

PENTHOUSE
TOTAL 6,468.62
EXCLUSION 93.06
COUNTED 6,375.56

TOTAL GROSS FLOOR AREA

BUILDING 201,408.85 S.F.
PENTHOUSE 6,375.56 S.F.

TOTAL GROSS FLOOR AREA BY USE

FIRST FLOOR RETAIL 11,164.76 S.F. (=52.5% OF FIRST FLOOR)
OFFICE 190,244.09 S.F.

FIRST FLOOR RETAIL CEILING CLEARANCE: 14'-0" CLEAR

GROSS FLOOR AREA ALLOWED

= 236,000 S.F. (AS REQUIRED BY ZONING COMMISSION NO. 03-12/13)

FAR

= TOTAL GROSS FLOOR AREA/LOT AREA

BUILDING = 201,408.85 S.F./27,960.90 S.F.
= 7.20

PENTHOUSE = 6,375.56 S.F./27,960.90 S.F.
= 23

TOTAL = 7.20+ 23
= 7.43

Section 2406.12 (f)

CIRCULATION

PARKING

150 SPACES REQUIRED (AS REQUIRED BY ZONING COMMISSION ORDER NO. 03-12/13)

239 SPACES PROVIDED

BY TYPE:

STANDARD SIZE SPACES		
REGULAR CARS	139	
COMPACT CARS	27	
HYBRID CARS		12 (AS REQUIRED BY ZONING)
VAN PARKING ONLY		2 (AS REQUIRED BY BUILDING CODE)
ACCESSIBLE SPACES		2 (AS REQUIRED BY BUILDING CODE)
STANDARD	5	
VAN	2	
STACKED SPACES		6
STANDARD SIZE		36
COMPACT SIZE		

BY LEVEL:

P-1 LEVEL 49
P-2 LEVEL 63
P-3 LEVEL 65
P-4 LEVEL 62

BICYCLE SPACES

5 SPACES REQUIRED

22 SPACES PROVIDED (AS REQUIRED BY LEED)

LOADING BERTHS

2 12X30' LOADING BERTHS REQUIRED, 2 PROVIDED
1 10X20' DELIVERY BERTH REQUIRED, 1 PROVIDED

COMPUTATION:

GROSS FLOOR AREA FOR LOADING = BUILDING GROSS FLOOR AREA - AREA ALLOCATED TO LOADING
= 201,408.85 S.F. - 2,368.21 S.F.
= 199,042.64 S.F.

YARD REQUIREMENTS

SIDE YARD

WIDTH REQUIRED = 2' FOR EACH FOOT OF HEIGHT OF THE BUILDING (AS REQUIRED BY ZONING CODE)
= 2 IN FT X 110 FT
= 220 IN
= 18'-4"

WIDTH PROVIDED = 20'-0"

REAR YARD

WIDTH REQUIRED = 2 1/2' PER FOOT OF VERTICAL DISTANCE FROM THE MEAN FINISHED GRADE
= 2 1/2 IN FT X 112-2 5/8'
= 280.625'
= 23'-4 5/8"

WIDTH PROVIDED = 30'-0" (TAKEN TO 1/2 OF THE RIGHT OF WAY OF 2ND STREET)

RETAIL GLASS REQUIREMENTS

PERCENTAGE GLASS FACADE FOR RETAIL DISPLAY @ 2ND STREET = 92.40%

PERCENTAGE GLASS FACADE FOR RETAIL DISPLAY @ M STREET = 92.57%

NOTE: GLASS USED WILL HAVE A MINIMUM RATING OF 70% VISIBLE LIGHT TRANSMISSION AND A MAXIMUM OF 17% VISIBLE LIGHT REFLECTANCE

ZONING COMMISSION
District of Columbia

CASE NO. 03-12 F / 03-12 F

PERMIT NO. 3



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DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
PUD CHECKLIST & ZONING TABULATIONS

PROJECT NO.

05034.00

DRAWN BY

CMN

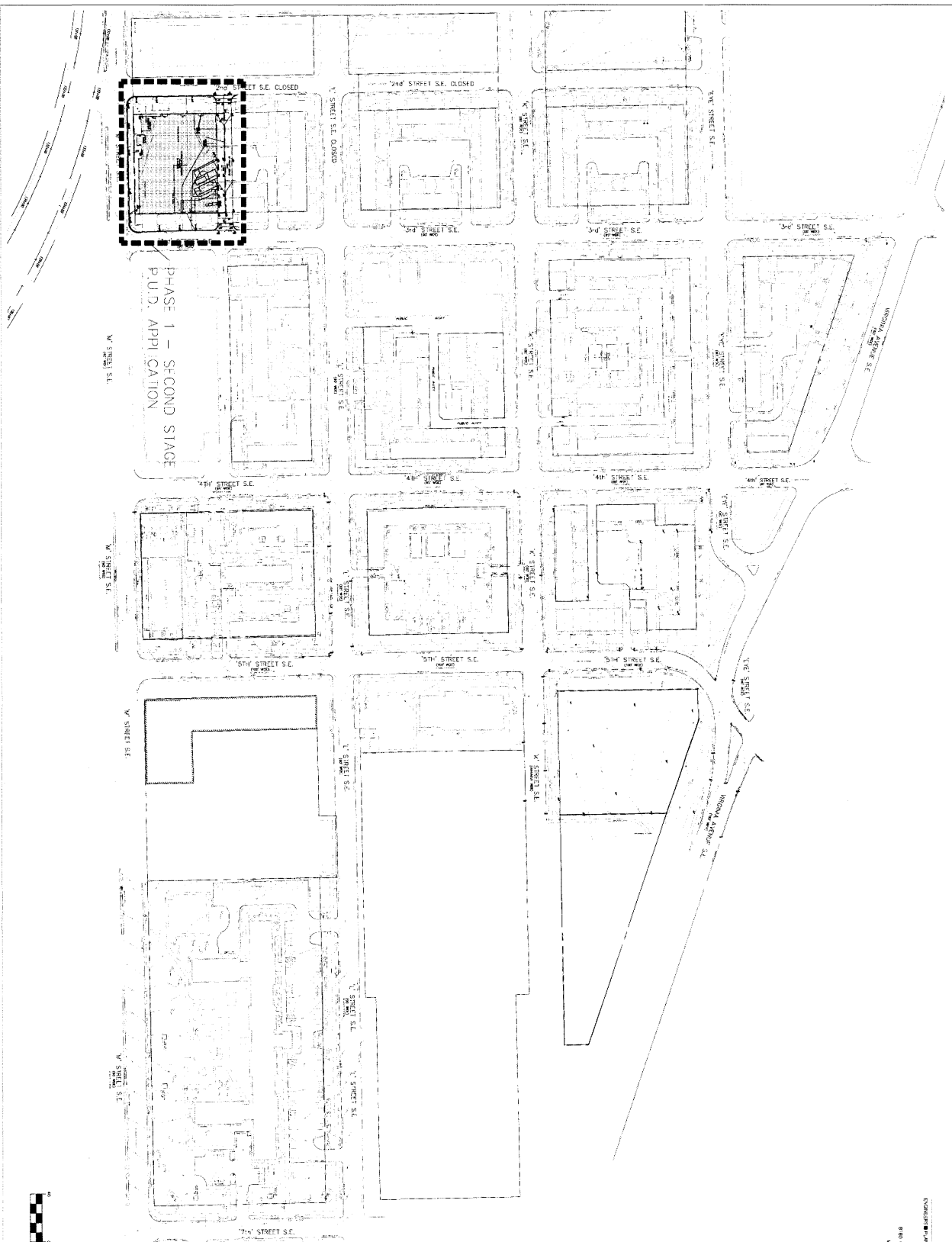
SCALE

DATE

05-03-07

DWG NO.

T0.00



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 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO.03-12C / 03-13C
 OVERALL SITE PLAN

PROJECT NO.
 6555V
DRAWN BY:
 MDS
DATE
 04-30-07



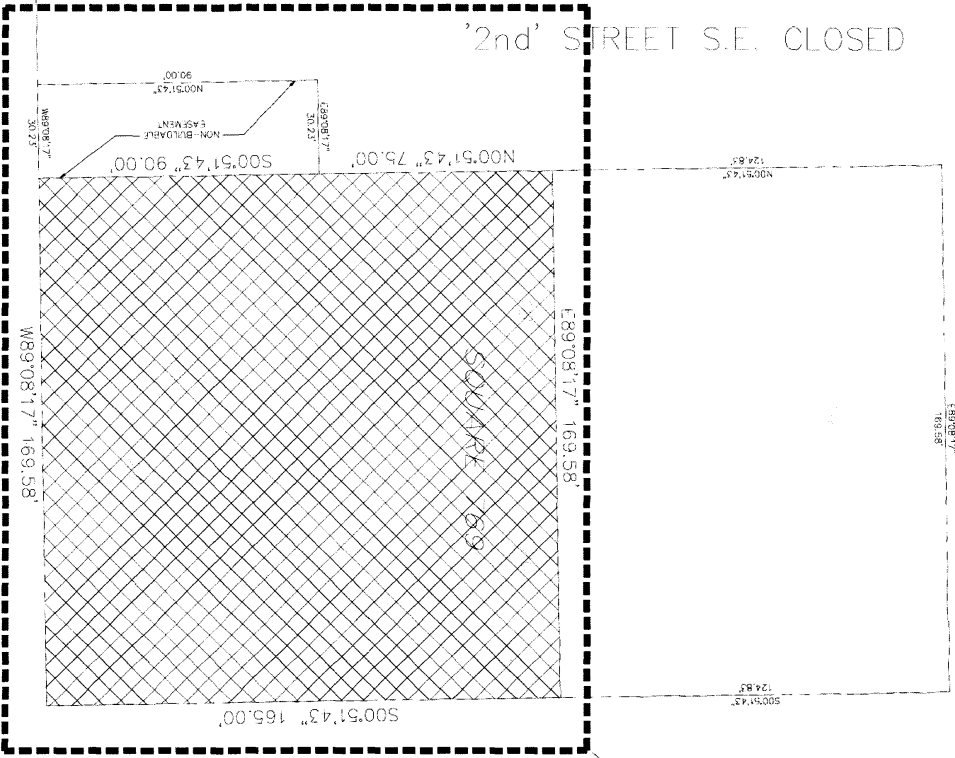
C-10

RESERVATION 17-D
(821)

'2nd' STREET S.E. CLOSED

'L' STREET S.E. CLOSED

'M' STREET S.E.

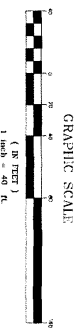


'3rd' STREET S.E.
(90' WDE)

PHASE 1 - SECOND STAGE
P.U.D. APPLICATION

SQUARE 769
TOTAL SQUARE AREA 82,238.59 SQ.FT. 1.888 ACRES
AREA FOR THIS DEVELOPMENT 27,960.90 SQ.FT. 0.6419 ACRES

CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE DISTRICT OF COLUMBIA DEPARTMENT OF GENERAL SERVICES AND THE DISTRICT OF COLUMBIA DEPARTMENT OF THE ENVIRONMENT AND PLANNING. THIS PROJECT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE DISTRICT OF COLUMBIA DEPARTMENT OF GENERAL SERVICES AND THE DISTRICT OF COLUMBIA DEPARTMENT OF THE ENVIRONMENT AND PLANNING.



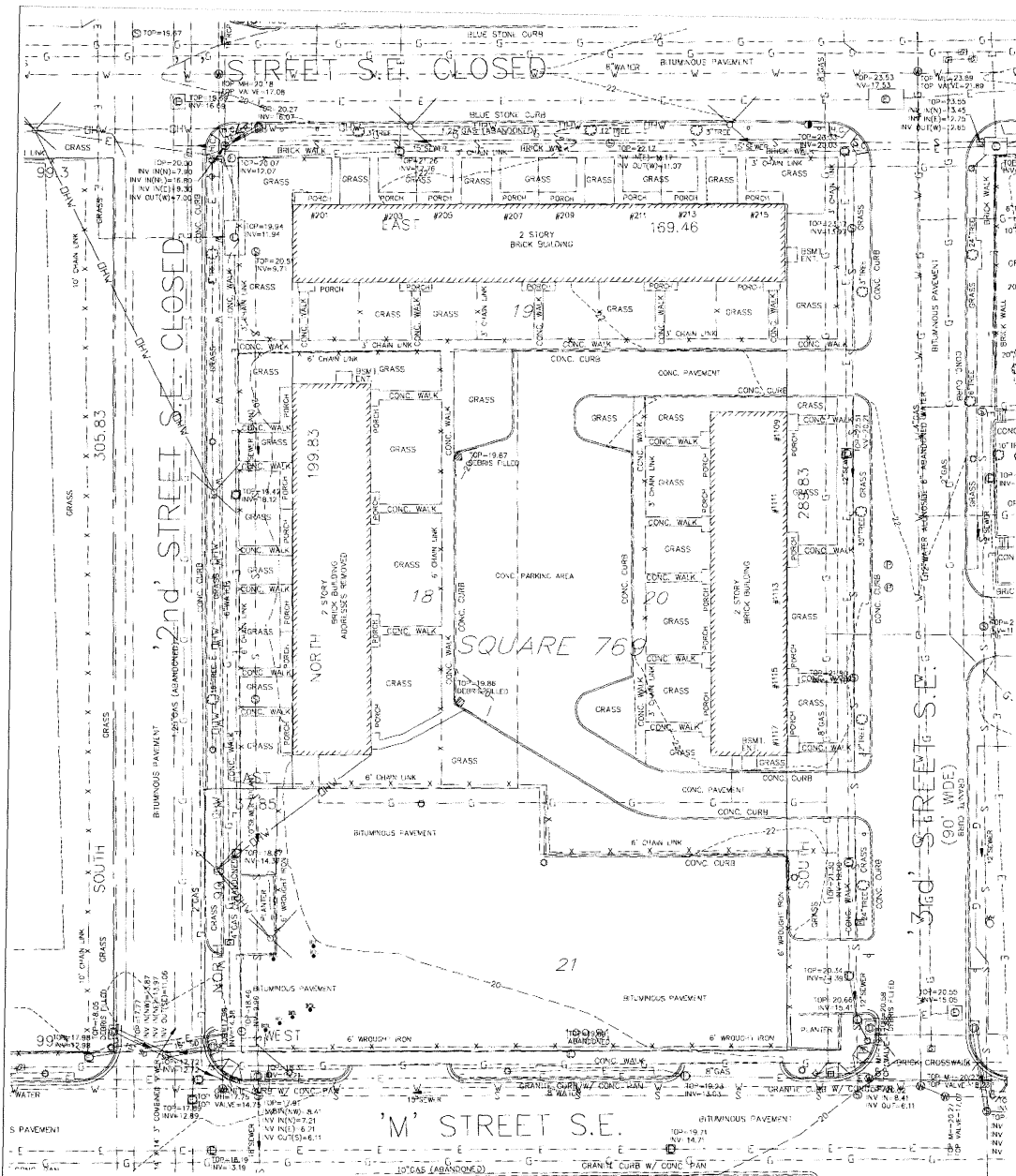
C-1.1

PROJECT NO.
6855V
DRAWN BY:
A
MDE
DATE
04-30-07
DWG.
NO.

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO.03-12C / 03-13C
PLAT PLAN
STAMP

PROJECT
250 M STREET, SE
SQUARE 769, LLC
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Washington, DC 20003

CONSULTANT
1025 14th Street, NW
Washington, DC 20005
P 202.462.3770
F 202.462.3700
WWW.HICKOKCOLE.COM



NOTES:

- 1) THE HORIZONTAL DATUM IS BASED ON A BOUNDARY SURVEY PROVIDED BY GREENHORN & OMARA, INC.
- 2) VERTICAL DATUM IS BASED ON THE DISTRICT OF COLUMBIA DATUM.
D.C. BENCH MARKS: 100 (±) 130 ELEVATION = 20.41'
TWO (2) 1/2" 3001 CONTOUR INTERVALS
- 3) THE SUBJECT PROPERTY IS LOCATED IN ZONE "C" (AREA OF MINOR FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP FROM COMMUNITY PANEL NO. 150021 0030.0 FOR THE DISTRICT OF COLUMBIA, WASHINGTON, D.C. DATED NOVEMBER 15, 1985.
- 4) NO TITLE REPORT FURNISHED.
- 5) BOUNDARY DETERMINATION PROVIDED BY GREENHORN & OMARA, INC.

UTILITY NOTE

THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE BELOW AND GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OTHER THAN THE SURVEYOR'S RECORD INFORMATION. THE SURVEYOR CERTAINLY HAS NOT GUARANTEED THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED AS PROVIDED BY THE RECORD INFORMATION. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED AS PROVIDED BY THE RECORD INFORMATION. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, UNLESS SPECIFICALLY NOTED ON THE DRAWING. THE FOLLOWING UTILITY COMPANIES HAVE BEEN SOLICITED FOR THEIR PLANS AND RECORD UTILITY DRAWINGS:

UTILITY COMPANY	PLAN & SHEET #
VERIZON 3901 Colverton Boulevard - 3rd Floor Bethesda, Maryland 20775	PLAN PROVIDED
DISTRICT CABLEVISION 800 Michigan Avenue, NE Washington, DC 20017	NO RISKY AT THIS TIME
WASHINGTON GAS AND LIGHT COMPANY 6801 Resister Road Springfield, VA 22151	PLAN PROVIDED, MAP A/P-000-05
VC WORLDWIDE 2200 Lakeside Road Richardson, TX 75082	PLAN PROVIDED, UTILITIES IN STREETS, NO EXACT LOCATION PROVIDED
PG&E 1900 Pennsylvania Ave. Room 308 Washington, DC 20006	PLANS PROVIDED, 759-822, 789-101, 789-102 & 789-103
WATER & SEWER PLANS AT&T 1700 Fingerboard Road Manassas, MD 21770	DC DPW - BLUE PLANS PLAN ROOM NO FACILITIES WITHIN AREA

THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. THE OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "MISS UTILITY" 48 HOURS PRIOR TO CONSTRUCTION.

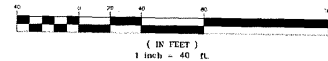
D.C. BOUNDARY NOTE:

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE WITH THE FINAL DETERMINATION TO BE MADE BY THE OFFICE OF THE SURVEYOR. A "SURVEY TO MARK" PREPARED BY OFFICE OF COLUMBIA REGISTERED AND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR IS REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND THE CONFIGURATION FOR THIS PROPERTY.

LEGEND

(Symbol)	SANITARY MANHOLE	(Symbol)	SANITARY CLEANOUT
(Symbol)	TRAFFIC CONTROL BOX	(Symbol)	STORY DRAIN MANHOLE
(Symbol)	TRAFFIC SIGNAL POLE	(Symbol)	ELECTRICAL JUNCTION BOX
(Symbol)	TRAIL	(Symbol)	ELECTRICAL MANHOLE
(Symbol)	CABLE TELEVISION PULSILAT	(Symbol)	FIRE DEPARTMENT CONNECTION
(Symbol)	WASTE WATER	(Symbol)	FIRE HYDRANT
(Symbol)	WATER MANHOLE	(Symbol)	GAS MANHOLE
(Symbol)	WATER MANHOLE	(Symbol)	GUY POLE
(Symbol)	WATER MANHOLE	(Symbol)	GAS VALVE
(Symbol)	WATER MANHOLE	(Symbol)	LIGHT POLE
(Symbol)	WATER MANHOLE	(Symbol)	PHONE MANHOLE
(Symbol)	WATER MANHOLE	(Symbol)	UTILITY POE
(Symbol)	WATER MANHOLE	(Symbol)	
(Symbol)	WOOD POST	(Symbol)	
(Symbol)	NAILS	(Symbol)	
(Symbol)	CURB INSET	(Symbol)	

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



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DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C-105-13C
EXISTING CONDITIONS PLAN

STAMP

PROJECT NO.
6555V
DRAWN BY:
MDB
SCALE:
1"=40'
DATE:
04-30-07
D.C.
NO.

C-1.2

1st STREET S.E. CLOSED

WFA
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 1000 GREENBROOK DR. SUITE 200 ■ FALLS CHURCH, VA 22024
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 WILMINGTON, VA CUMMINGTON, MD LEBANON, VA



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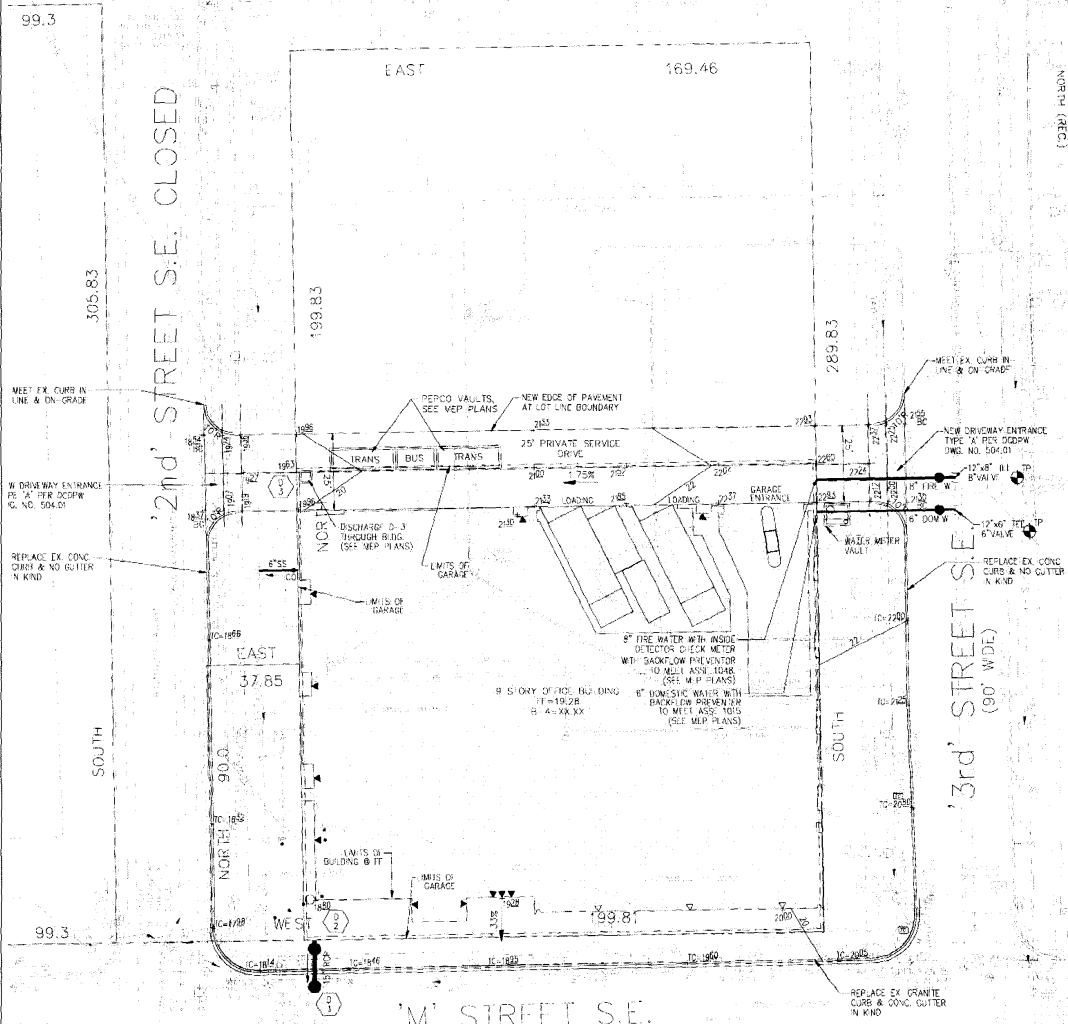
CONSULTANT

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 1100 New Hampshire Ave., SE Suite 1100
 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C / 03-13C
 SITE, GRADING & UTILITY PLAN

STAMP

PROJECT NO.
 6555V
 DRAWN BY:
 MOB
 SCALE
 1"=40'
 DATE
 04-30-07
 DWG. NO.
 C-2.0



STORMWATER MANAGEMENT NARRATIVE

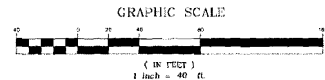
THE ROOFTOP OF THE PROPOSED BUILDING WILL CONTAIN A GREEN ROOF USED FOR BOTH STORMWATER MANAGEMENT AND BUILDING AMENITIES. THIS GREEN ROOF IS OF ADEQUATE AREA AND SECTION TO PROVIDE STORMWATER MANAGEMENT FOR THE PROPOSED DEVELOPMENT. THE PRIMARY METHOD FOR STORMWATER MANAGEMENT FOR THE PROPOSED DEVELOPMENT IS THE GREEN ROOF.

LEGEND

- 8" SDP STORM DRAIN
- 8" SS SANITARY SEWER
- 6" FIRE WATER WATER LINE
- TEST P.T.
- EXISTING CONDUIT LINE
- PROPOSED CONDUIT LINE
- ▲ BUILDING ENTRANCE
- ▽ PROPOSED SPOT ELEVATION

LEGEND

- CABLE TELEVISION CONDUIT
- ELECTRICAL CONDUIT
- FROP OF PAVEMENT
- FENCE LINE
- NATURAL GAS CONDUIT
- OVERHEAD WIRES
- TELEPHONE/COMMUNICATIONS CONDUIT
- PROPERTY LINES
- PUBLIC UTILITIES EASMENTS
- SANITARY SEWER CONDUIT
- STORM DRAIN CONDUIT
- WATER CONDUIT
- CONC. CONCRETE
- CURB AND GUTTER
- BLDG. BUILDING
- STY. STORY
- TRV. ELECTRICAL TRANSFORMER
- ASPH. ASPHALT
- LSM. CASIOLEW
- CUP. REINFORCED CONCRETE PIPE
- HCP. CORRUGATED METAL PIPE
- BR. BUILDING RESTRICTION LINE
- R/W. RIGHT-OF-WAY
- SANITARY CLEANOUT
- STORM DRAIN MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL MANHOLE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GAS MANHOLE
- GAS VALVE
- GUY POLE
- LOCAL POLL
- PHONE TELESTAL
- UTILITY P.O.T.

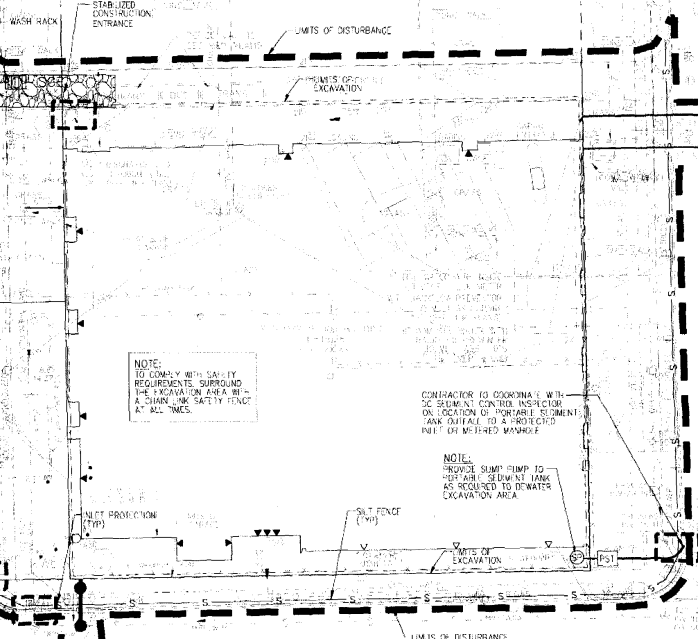


'L' STREET S.E. CLOSED

'2nd' STREET S.E. CLOSED

'3rd' STREET S.E.

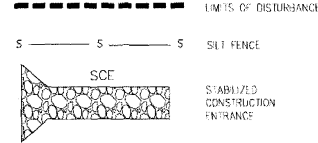
'M' STREET S.E.



NOTE:
TO COMPLY WITH SAFETY
REQUIREMENTS, SURROUND
THE EXCAVATION AREA WITH
A CHAIN LINK SAFETY FENCE
AT ALL TIMES.

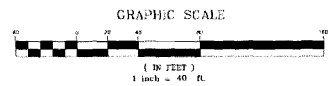
CONTRACTOR TO COORDINATE WITH
SC SEWAGE CONTROL INSPECTOR
ON LOCATION OF PORTABLE SEDIMENT
TANK DURING TO A PROTECTED
INLET OF METERED MANHOLE

NOTE:
PROVIDE SLUMP PUMP TO
DEFER AIR SEDIMENT TANK
AS REQUIRED TO DEWATER
EXCAVATION AREA.



LEGEND

<ul style="list-style-type: none"> ○ SANITARY MANHOLE □ TRAFFIC CONTROL BOX ● TRAFFIC SIGNAL POLE ○ TREE ○ CABLE TELEVISION PERISTAL ○ UNKNOWN UTILITY MANHOLE ○ WATER METER ○ WATER MANHOLE ○ WATER VALVE ○ SIGN POST ○ WOOD POST ○ MULLIS ○ CURB INLET 	<ul style="list-style-type: none"> ○ CABLE TELEVISION CONDUIT ○ ELECTRICAL CONDUIT ○ EDGE OF PAVEMENT ○ FENCE LINE ○ NATURAL GAS CONDUIT ○ OVERHEAD WIRING ○ TELEPHONE/COMMUNICATIONS CONDUIT ○ PROPERTY LINE ○ PUBLIC UTILITIES EASEMENTS ○ SANITARY SEWER CONDUIT ○ STORM DRAIN CONDUIT ○ WATER CONDUIT ○ CONC. CONDUIT ○ CURB AND GUTTER ○ BUILDING ○ STORY ○ ELECTRICAL TRANSFORMER ○ ASPHALT ○ ASPHALT ○ EASEMENT ○ NEW DRENCH CONCRETE PIPE ○ CORRUGATED METAL PIPE ○ BUILDING RESTRICTION LINE ○ RIGHT-OF-WAY 	<ul style="list-style-type: none"> ○ SANITARY CLEANOUT ○ STORM DRAIN MANHOLE ○ ELECTRICAL JUNCTION BOX ○ ELECTRICAL MANHOLE ○ FIRE DEPARTMENT CONNECTION ○ FIRE HYDRANT ○ GAS MANHOLE ○ GUY POLE ○ GAS VALVE ○ LIGHT POLE ○ PHONE PEDI-STAL ○ PHONE MANHOLE ○ UTILITY POLE
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VIVA
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WILLIAM VA ■ GUMMINGTON, MD ■ LEESBURG, VA

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250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 Washington, DC 20004

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO.03-12C / 03-13C
EROSION CONTROL PLAN

STAMP

PROJECT NO.
6655V
DRAWN BY:
NDJ
SCALE
1"=40'
DATE:
04-30-07
DWG.
NO.

C-3.0

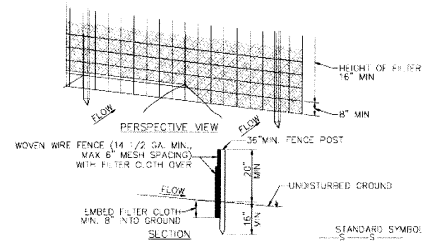
- THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE ORIGIN AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SAIT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
- THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON SITE. THESE CONTROL MEASURES WILL GENERAL Y COMPLY WITH THE FOLLOWING APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - DISPERSER WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 x Pa) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS FONDING;
- FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND NOZZLES;
 - LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS FONDING;
 - APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES.

- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLOMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
- ALL DEBRIS TO BE REMOVED FROM SITE.
- ALLEY AND/OR STREET SHALL BE SWEEP CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
- ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
- IF ANY CATCH-BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
- CONTRACTOR SHALL CLEAN OUT SEDIMENT TANK WHEN 33% CAPACITY HAS BEEN REACHED.
- ANY STOCKPILE, REGARDLESS OF LOCATION, SHALL BE STABILIZED AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
- AFTER BAZZ OR DIVOS, THERE IS THE NEED FOR GROUND COVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOG, PAVE, BRICKBAT OR MULCH, ETC.
- RESEED ALL DISTURBED AREAS NOT COVERED BY PAVEMENTS, WALLS, BUILDINGS, AND PERMANENT STRUCTURES UPON COMPLETION OF ALL SITE WORK AS PER SEEDING SPECIFICATIONS.
- ALL SEDIMENT TRAPS MUST BE SURROUNDED WITH A WELDED WIRE SAFETY FENCE. THE FENCE MUST BE AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THAN 2 INCHES IN WIDTH, AND 4 INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.

SOD ESTABLISHMENT (VEGETATIVE STABILIZATION)

To provide quick cover on disturbed areas which will be maintained with equipment (2:1 grade or flatter).

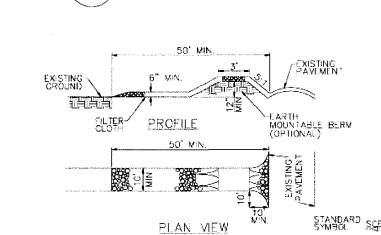
- General Specifications
 - Class of turfgrass seed shall be Maryland or Virginia State Certified, or Maryland or Virginia State approved seed.
 - Seed shall be machine cut to a uniform thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch.
 - Standing straw sections of seed shall be strong enough to support their own weight and retain their size and shape when suspended vertically into a firm grade on the upper 10 percent of the section.
 - Individual pieces of seed shall be cut to the supplier's width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pods and torn or uneven ends will not be acceptable.
 - Seed shall not be harvested or transported when moisture content (necessity dry or wet) may adversely affect its behavior.
 - Seed shall be harvested, cleaned, and stored within a period of 36 hours. Seed not transported within this time shall be inspected and approved prior to its installation.
 - Seed labels shall be made available to the job foreman and inspector.
- Seed Installation
 - During periods of excessively high temperature the seed shall be rapidly irrigated immediately prior to laying the seed.
 - The first row of seed shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Later rows shall be staggered to promote more uniform growth and strength. Grade the seed in not stretched or overlapped so that all joints are buttered tight in order to prevent voids which would cause drying of the roots.
 - On sloping areas where erosion may be a problem, seed shall be laid with the long edge parallel to the contour and with staggering slots. Secure the seed by rolling, tamping and pegging or other approved methods.
 - As sodding is completed in dry or arid sections, the entire area shall be rolled or tamped to ensure good contact of roots with soil surface. Seed shall be watered immediately after rolling or tamping and the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of rolling, tamping and pegging for any piece of sod shall be completed within eight hours.
- Seed Maintenance
 - In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.
 - After the first week, seed shall be watered as necessary to maintain adequate moisture and ensure establishment.
 - First mowing should not be attempted until sod is firmly rooted. No more than 1/2 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO POSTS. STEEL EITHER T OR U TYPE OR 2\"/>
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH ITS SPACING EVERY 24\"/>
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FIELD.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WITHIN "BEST" DEVELOP IN THE SILT FENCE.

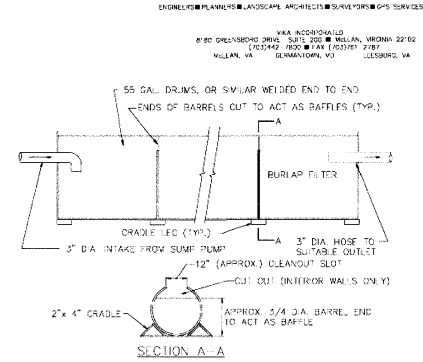
1 FABRICATED SILT FENCE
NOT TO SCALE

5 VEHICLE WASH AREA
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE USE 2\"/>
 - LENGTH AS REQUIRED, BUT NOT LESS THAN 30 FEET (EXCEPT ON RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS-NOT LESS THAN SIX (6) INCHES.
 - WIDTH-TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASE OR DECREASE OCCURS.
 - FILTER CLOTH-WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - SURFACE WATER-WILL SURFACE WATER FLOWING ON DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. PIPING IS IMPRACTICAL. A SUSTAINABLE BEAM WITH SIX (6) STONES WILL BE PERMITTED.
 - MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO DISTRICT OF COLUMBIA ROADS. THIS MAY REQUIRE PIPING FOR PARSING WITH ADDITIONAL STONE, AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - ALL SEDIMENT SPILLS, DROPPED, WASHED OR TRACKED ONTO DISTRICT OF COLUMBIA ROADS MUST BE REMOVED IMMEDIATELY.
 - WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO DISTRICT OF COLUMBIA ROADS WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



- NOTES:**
- CLEAN OUT THE SEDIMENT TANK WHEN ONE THIRD (1/3) FILLED WITH SILT.
 - STEEL DRUMS ARE USED AS AN EXAMPLE DUE TO THEIR READY AVAILABILITY. ANY TANKS MAY BE USED PROVIDED THAT THE VOLUME IN CUBIC FEET EQUALS SIXTYN TIMES THE PUMP DISCHARGE IN GALLONS PER MINUTE. PUMP DISCHARGE (G.P.M.) x 60=CU-FT STORAGE.
 - ALL SEDIMENT COLLECTED IN THE TANK SHALL BE DISPOSED OF BY A METHOD APPROVED BY THE ARCHITECT.

3 PORTABLE SEDIMENT TANK DETAIL
NOT TO SCALE



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CONSULTANT

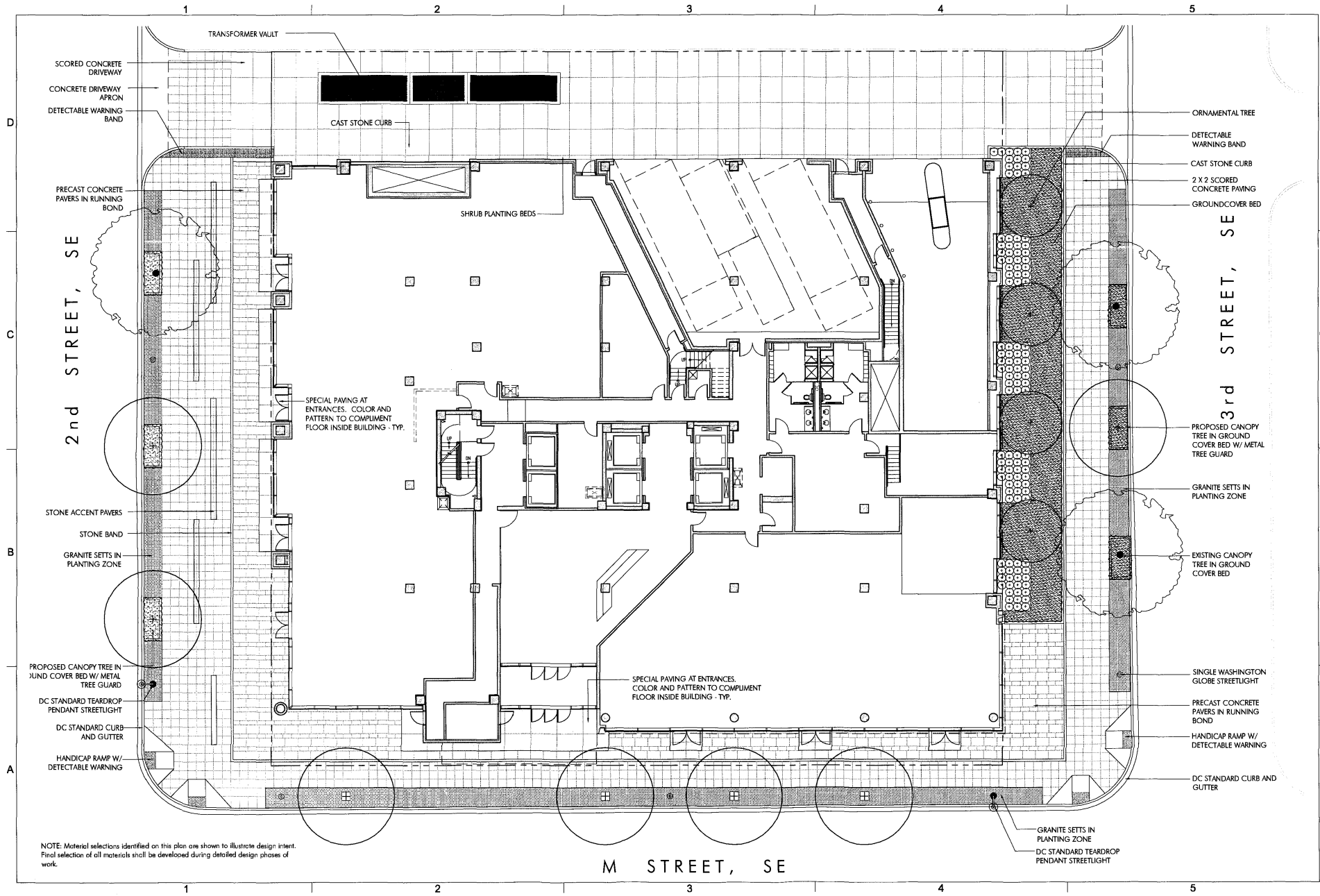
PROJECT
 260 M STREET, SE
 WASHINGTON, DC
 WILLIAM C. SMITH & COMPANY
 1100 New Jersey Ave., SE Suite 100
 Washington, DC 20003

PRE-HEARING SUBMISSION, CASE NO. 03-12C / 03-13C
 EROSION CONTROL NOTES

STAMP

PROJECT NO. 6655V
 DRAWN BY: MDB
 SCALE: 1"=40'
 DATE: 04-30-07
 DWG. NO.

C-3.1



NOTE: Material selections identified on this plan are shown to illustrate design intent. Final selection of all materials shall be developed during detailed design phases of work.



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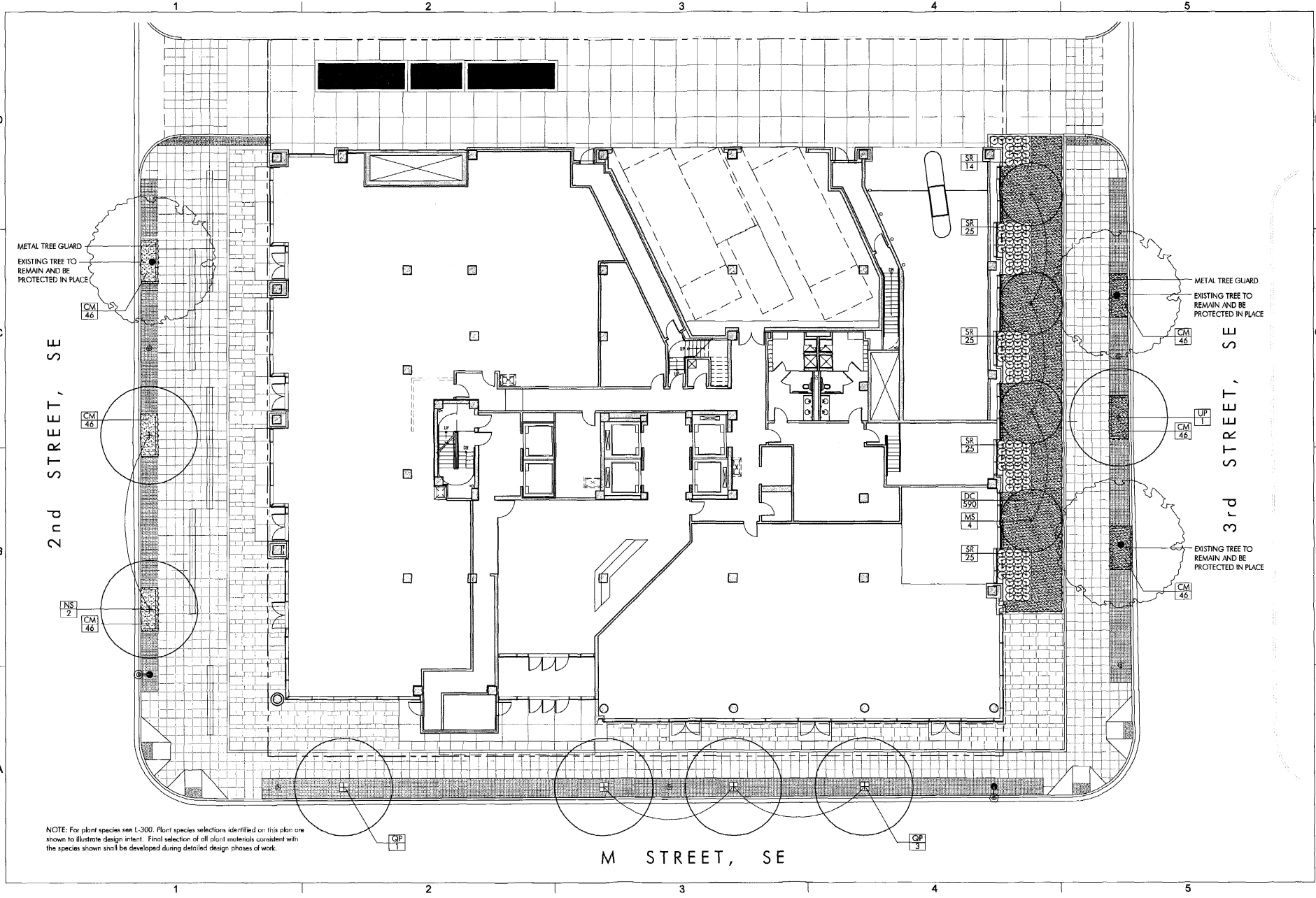
CONSULTANT
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Washington, DC 20004

PROJECT
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WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave., SE Suite 100
Washington, DC 20003

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
LAYOUT AND MATERIALS PLAN

PROJECT NO.
05034.00
DRAWN BY: CAM
SCALE: 1"=20'-0"
DATE:
05-03-07
DWS NO.

L-100



NOTE: For plant species see L-300. Plant species selections identified on this plan are shown to illustrate design intent. Final selection of all plant materials consistent with the species shown shall be developed during detailed design phases of work.



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770.658.9107

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SQUARE 789, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave., SE Suite 100
Washington, DC 20003

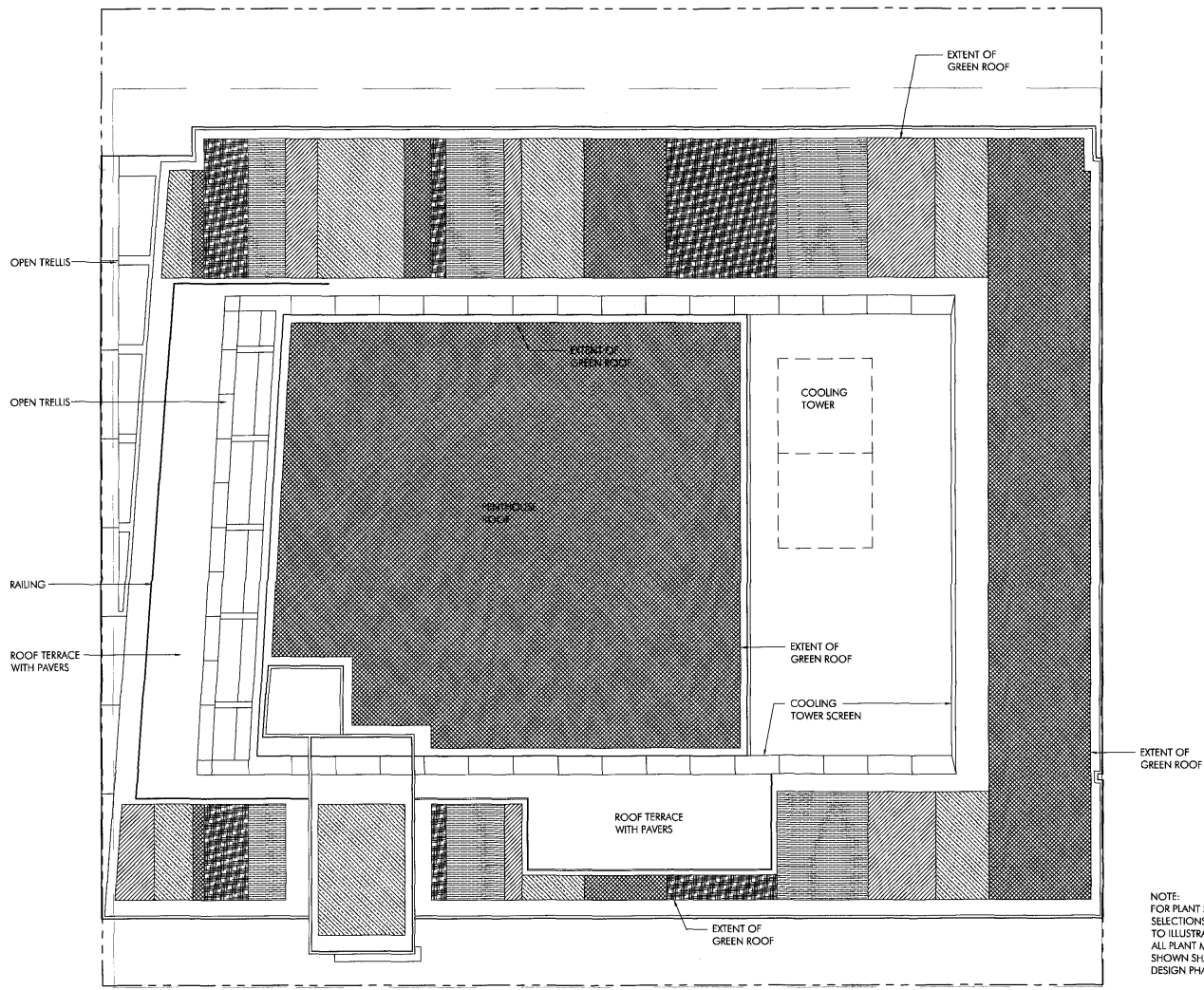
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PLANTING PLAN

PROJECT NO.
05034.00
DRAWN BY: CAM
SCALE: 1"=20'-0"
DATE:
05-03-07
DWG. NO.






L-101

1 2 3 4 5

D
C
B
A



PLANTING LEGEND

-  GREEN ROOF PLANTING TYPE: TC
1,520 SF
-  GREEN ROOF PLANTING TYPE: SF
826 SF
-  GREEN ROOF PLANTING TYPE: SW
907 SF
-  GREEN ROOF PLANTING TYPE: SR
1,295 SF
-  GREEN ROOF PLANTING:
EQUAL MIX OF ALL
8,103 SF

NOTE:
FOR PLANT SPECIES SEE SHEET L-300. PLANT SPECIES SELECTIONS IDENTIFIED ON THIS PLAN ARE SHOWN TO ILLUSTRATE DESIGN INTENT. FINAL SELECTION OF ALL PLANT MATERIALS CONSISTENT WITH THE SPECIES SHOWN SHALL BE DEVELOPED DURING DETAILED DESIGN PHASES OF WORK.



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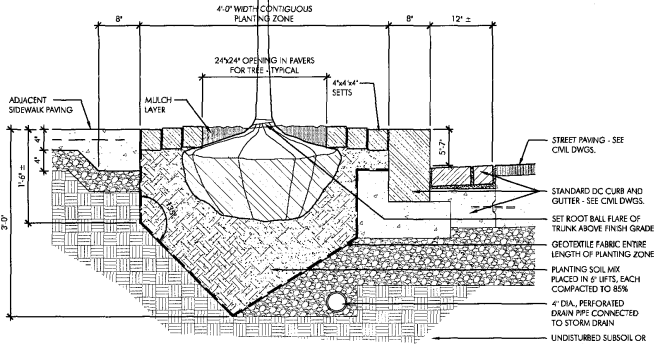
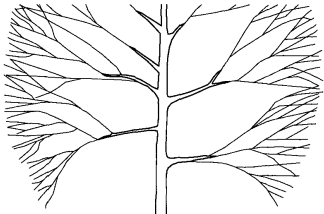
CONSULTANT
PARKER RODRIGUEZ, INC.
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Arling Heights, Virginia 22134
703.648.9010

PROJECT
250 M STREET, SE
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DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
GREEN ROOF PLANTING PLAN

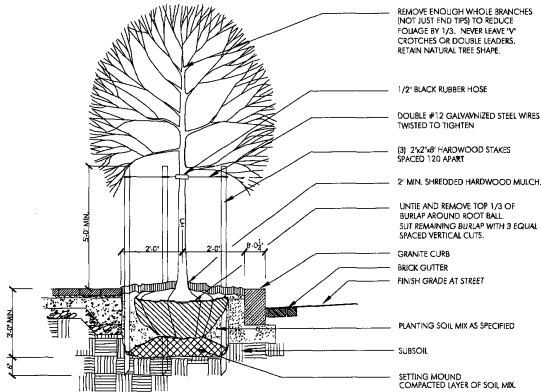
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05034.00
DRAWN BY: CAM
SCALE: 1"=20'-0"
DATE:
05-03-07
DWG. NO.

L-200



1 STREET TREE PLANTING WITH COBBLES
SCALE: NOT TO SCALE

NOTES:
TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT DID IN NURSERY. ALL PRUNING SHALL BE DONE AFTER PLANTING.



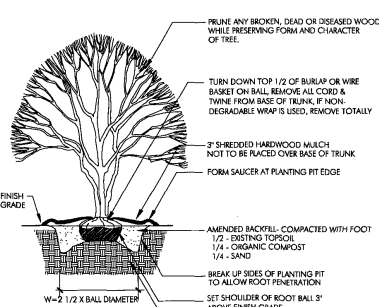
2 STREET TREE PLANTING DETAIL
SCALE: NOT TO SCALE

250 M Street Plant Material Schedule

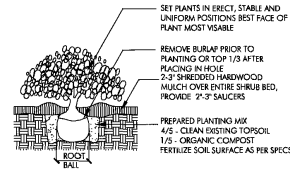
QUAN.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
4	MS	<i>Magnolia stellata</i> 'Roseae'	Pink Star Magnolia	6'-8' ht.	B&B	Heavy Specimen
2	NS	<i>Nyssa sylvatica</i>	Blackgum	3-3 1/2'	B&B	Symmetrical specimen, branched to 6'-6" from ground
4	QP	<i>Quercus phellos</i>	Willow Oak	3-3 1/2'	B&B	Symmetrical specimen, branched to 6'-6" from ground
1	UP	<i>Ulmus parvifolia</i>	Chinese Elm	3-3 1/2'	B&B	Symmetrical specimen, branched to 6'-6" from ground
SHRUBS						
114	SR	<i>Skimmia reevesiana</i>	Reeves Skimmia	15'-18" ht.	Cont.	
PERENNIALS / GRASS / GROUND COVER						
276	CM	<i>Carex morrowii</i>	Morrow's Sedge	1 qt.	Cont.	12" o.c. Triangular Spacing
590	DC	<i>Deschampsia caespitosa</i> 'Schottland'	Scottish Tufted Hair Grass	1 gal.	Cont.	18" o.c. Triangular Spacing

Green Roof Plant Material Schedule

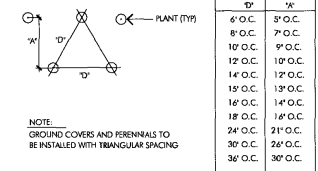
QUAN.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
GRASSES						
7,100	TC	<i>Talium calycinum</i>	Fameflower	N/A	Plug	2 per square foot
5,700	SF	<i>Sedum spurium</i> 'Fuldaglut'	Fuldaglut Creeping Stonecrop	N/A	Plug	2 per square foot
5,900	SW	<i>Sedum spurium</i> 'White Form'	White Form Creeping Stonecrop	N/A	Plug	2 per square foot
6,650	SR	<i>Sedum spurium</i> 'Roseum'	Roseum Creeping Stonecrop	N/A	Plug	2 per square foot



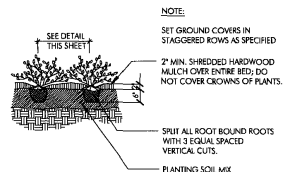
3 MULTI-STEM TREE PLANTING DETAIL
SCALE: NOT TO SCALE



4 SHRUB PLANTING
SCALE: NOT TO SCALE



6 PLANT SPACING DIAGRAM
SCALE: NOT TO SCALE



5 GROUND COVER PLANTING
SCALE: NOT TO SCALE



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WILLIAM C. SMITH & COMPANY
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PROJECT NO.
03-12C/03-13C
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
PLANT MATERIAL SCHEDULE
AND DETAILS

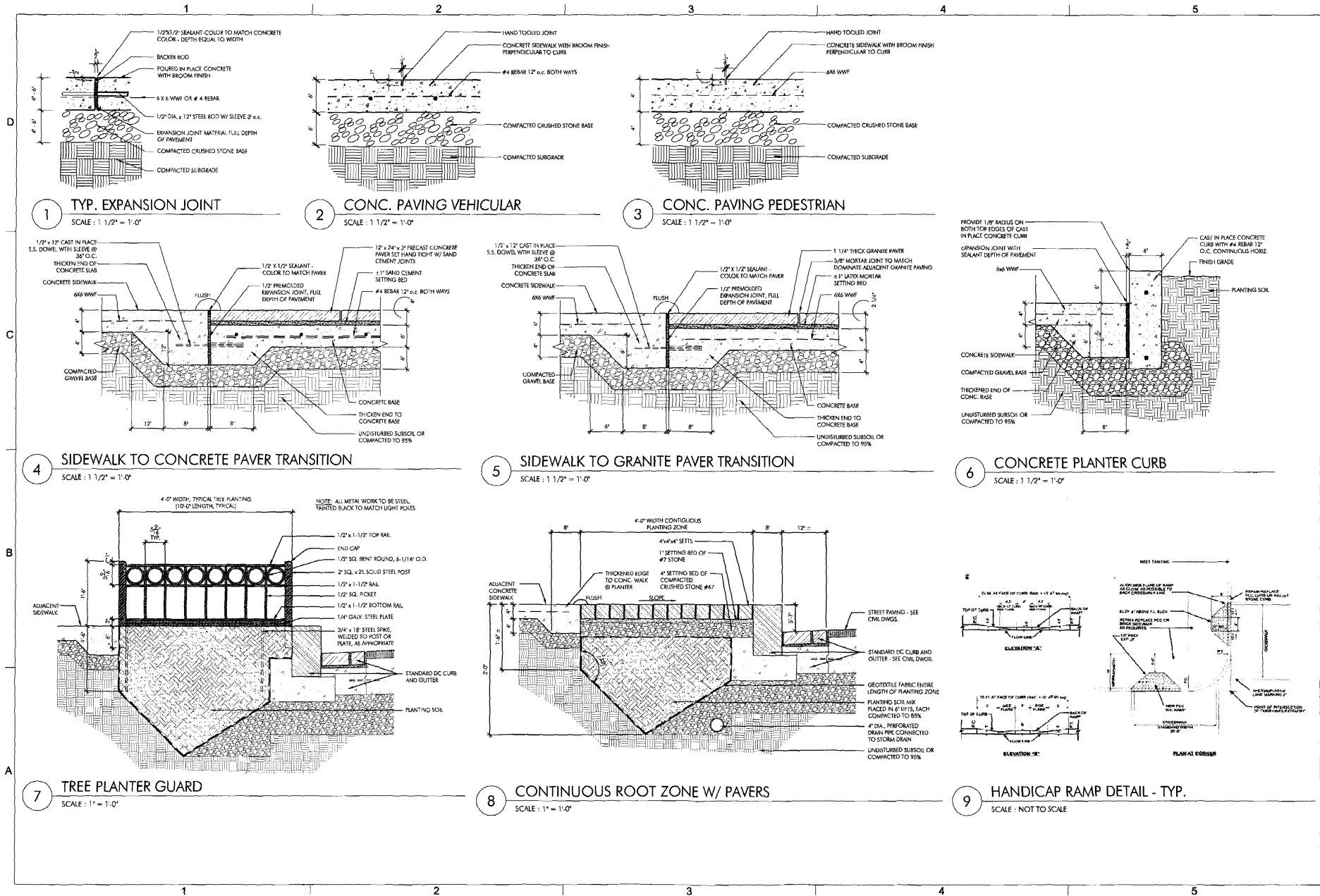
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DATE:
05-03-07

DWG. NO.

L-300



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PRE-HEARING SUBMISSION, CASE NO. 03-12C03-13C
DETAILS

PROJECT NO.
05034.00
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DWG. NO.

L-400

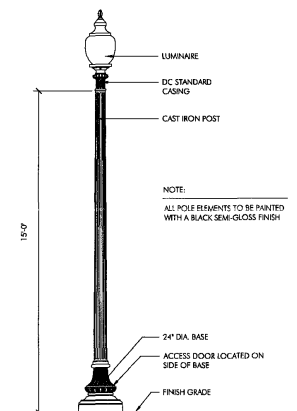
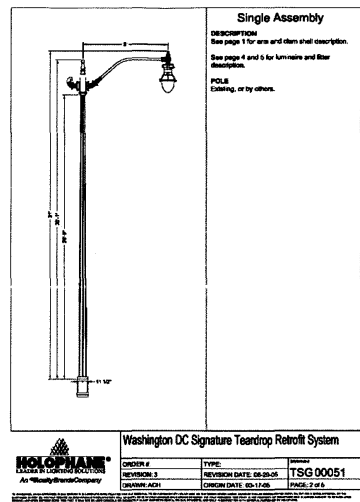
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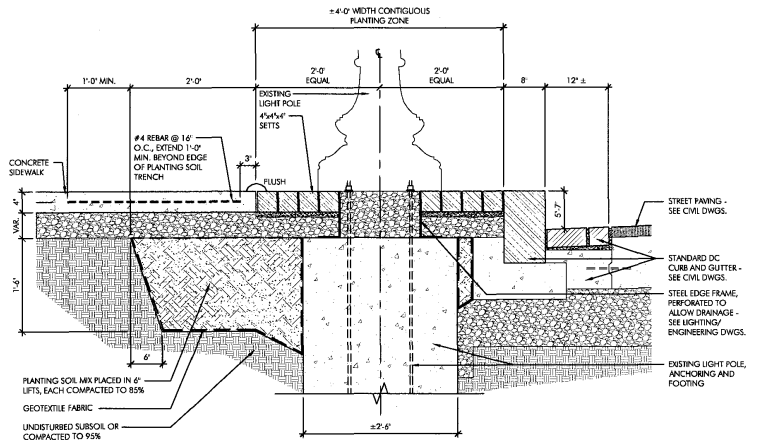
B

A



2 TYPICAL TEARDROP LIGHT
 SCALE: NOT TO SCALE

1 SINGLE WASHINGTON GLOBE LIGHT
 SCALE: NOT TO SCALE



3 ROOT ZONE AROUND STREET LIGHT
 SCALE: 1" = 1'-0"



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DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 LIGHTING DETAILS

PROJECT NO.
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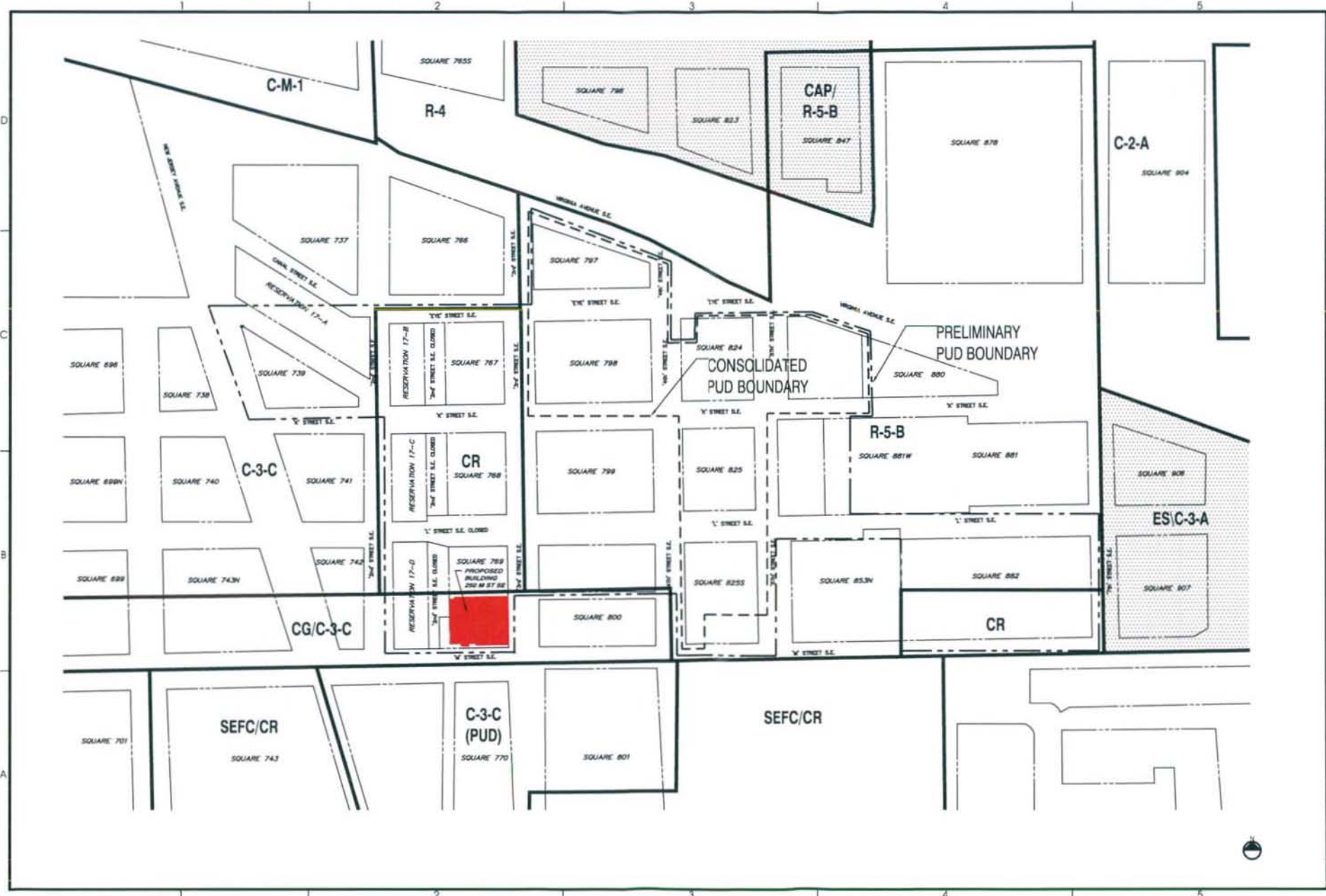
SCALE: AS NOTED

DATE:
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DWG. NO.

L-401

1 2 3 4 5



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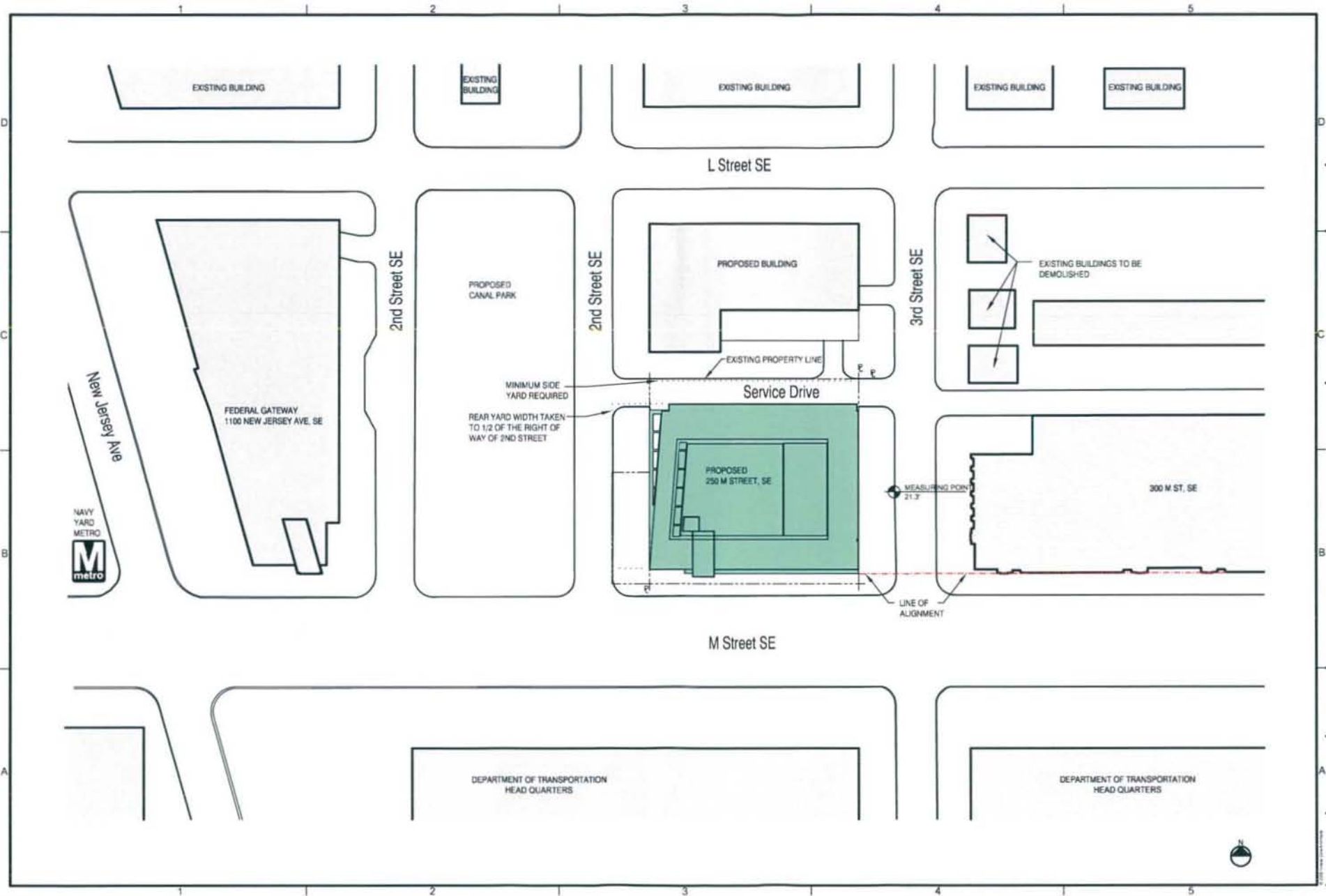
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PRE-HEARING SUBMISSION, CASE NO. 03-12CJ03-13C
ZONING MAP



PROJECT NO.
000304-00
DRAWN BY
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SCALE
1" = 250'-0"
DATE
05-03-07
DWG. NO.

A0.01



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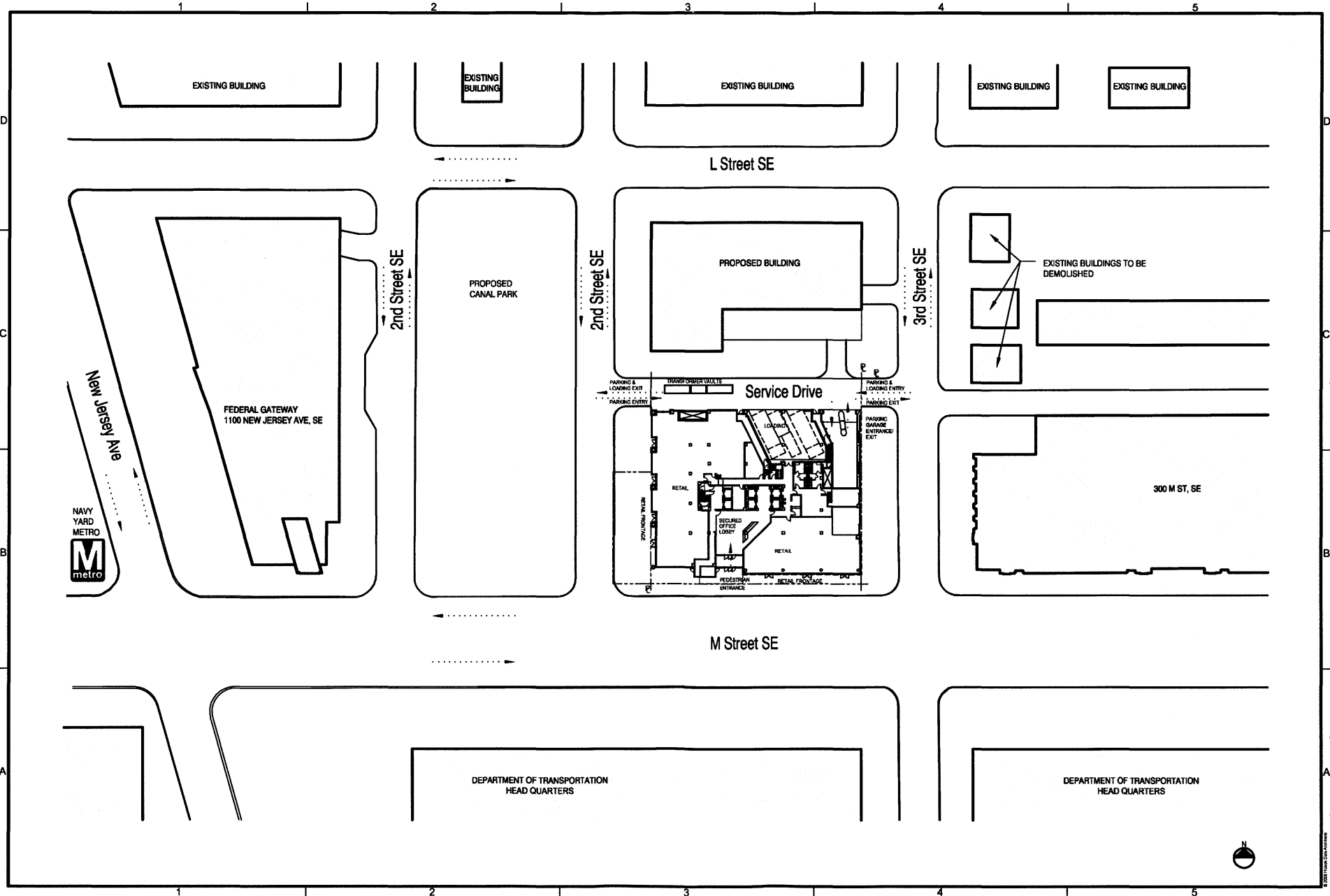
PROJECT
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 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
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DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 SITE CONTEXT PLAN



PROJECT NO.
 00034 (0)
 DRAWN BY
 CHECKED BY
 SCALE
 1" = 70' (2)
 DATE
 05-03-07
 DWG. NO.

A0.02



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PROJECT
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DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C003-13C
SITE CIRCULATION PLAN



PROJECT NO.
05034.00
DRAWN BY
CMN
SCALE
1" = 70'-0"
DATE
05-03-07
DWG. NO.

A0.03





Looking southwest from the intersection of New Jersey Ave and M Street, SE Navy Yard Metro Entrance

Looking northeast from the intersection of 3rd Street, SE and L Street, SE Residential in foreground 1100 New Jersey Ave building in left background



Looking northwest from the intersection of 3rd Street, SE and L Street, SE Residential



Looking southeast from the intersection of L Street, SE and 2nd Street, SE Department of Transportation Headquarters with 300 M Street in left foreground



1100 New Jersey Ave, SE Federal Gateway Building M Street (South) Facade



1100 New Jersey Ave, SE Federal Gateway Building New Jersey Ave (West) Facade

Looking north from the intersection of M Street, SE and 3rd Street, SE 300 M Street office building



Department of Transportation Headquarters



1100 New Jersey Avenue

250 M Street, SE Site



300 M Street, SE



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CONTRACT

250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Avenue, SE
Washington, DC 20003

PROJECT

PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
SITE CONTEXT

REVISIONS

PROJECT NO.
030304 00
DRAWN BY
CUN
SCALE
N/S
DATE
05-03-07
DWG. NO.

A0.04



1223 31st Street, NW
Washington, DC 20007
P 202.897.8778
F 202.897.2280
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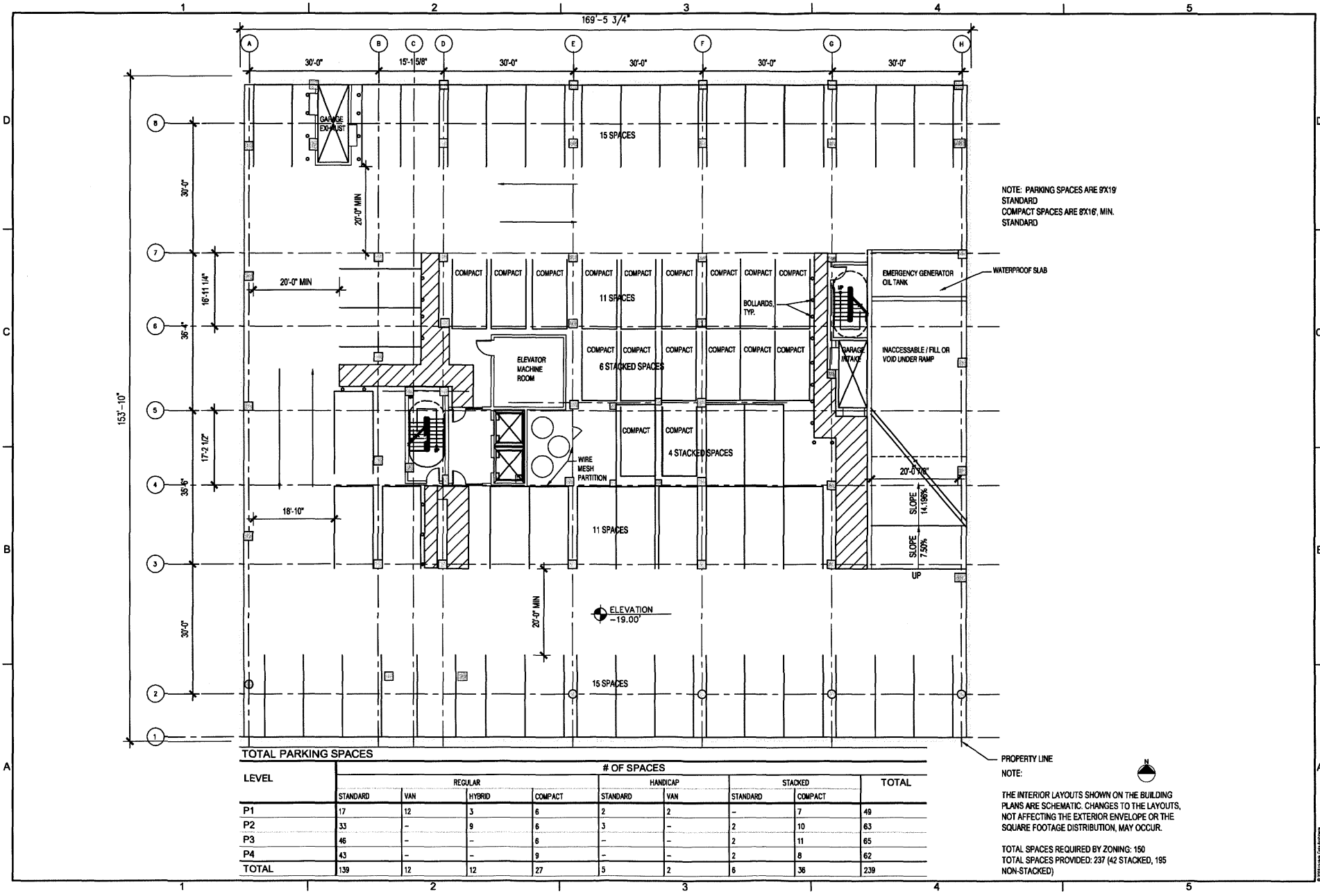
CONSULTANT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE Suite 100
Washington, DC 20003

DRIVING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
P-4 PARKING LEVEL PLAN

PROJECT NO.
05034.00
DRAWN BY
CJM
SCALE
1" = 20'-0"
DATE
05-03-07
DWG. NO.

A1.01



NOTE: PARKING SPACES ARE 9'X19'
STANDARD
COMPACT SPACES ARE 8'X16', MIN.
STANDARD

EMERGENCY GENERATOR OIL TANK
WATERPROOF SLAB
INACCESSIBLE / FILL OR VOID UNDER RAMP
GARAGE INTAKE
BOLLARDS, TYP.

ELEVATION
-19.00'

SLOPE
14.168%
SLOPE
7.50%UP

TOTAL PARKING SPACES

LEVEL	# OF SPACES									TOTAL
	REGULAR				HANDICAP		STACKED		TOTAL	
	STANDARD	VAN	HYBRID	COMPACT	STANDARD	VAN	STANDARD	COMPACT		
P1	17	12	3	6	2	2	-	7	49	
P2	33	-	9	6	3	-	2	10	63	
P3	46	-	-	6	-	-	2	11	65	
P4	43	-	-	9	-	-	2	8	62	
TOTAL	139	12	12	27	5	2	6	36	239	

PROPERTY LINE
NOTE:

THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

TOTAL SPACES REQUIRED BY ZONING: 150
TOTAL SPACES PROVIDED: 237 (42 STACKED, 195 NON-STACKED)

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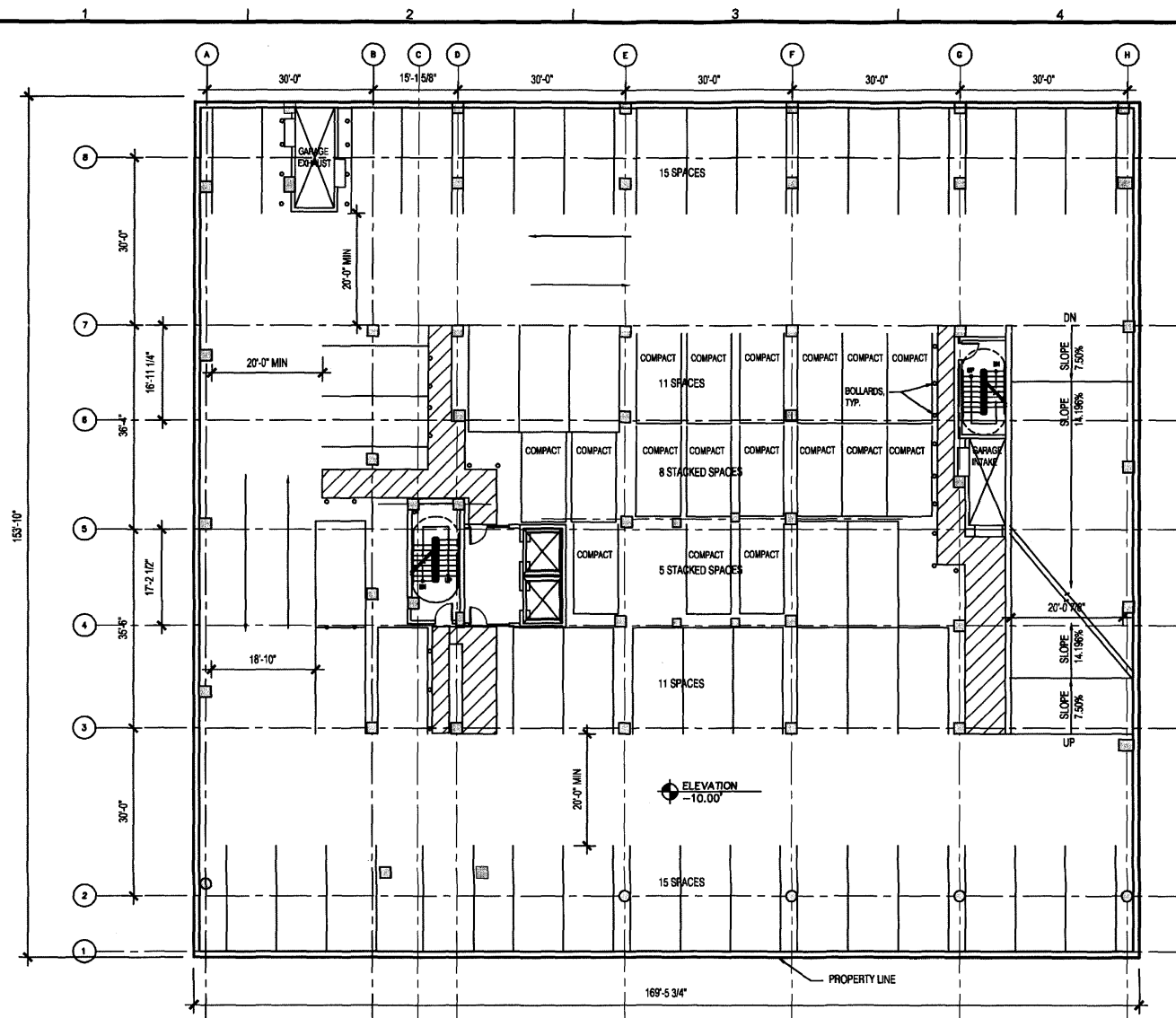
CONSULTANT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE Suite 100
Washington, DC 20003

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
P-3 PARKING LEVEL PLAN

PROJECT NO.
05034.00
DRAWN BY
CMV
SCALE
1" = 20'-0"
DATE
05-03-07
DWG. NO.

A1.02



NOTE: PARKING SPACES ARE 9'X19'
STANDARD
COMPACT SPACES ARE 6'X16', MIN.
STANDARD

NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING
PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS,
NOT AFFECTING THE EXTERIOR ENVELOPE OR THE
SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

LEVEL	TOTAL PARKING SPACES								TOTAL
	# OF SPACES				# OF SPACES				
	REGULAR		HANDICAP		STACKED		STANDARD		
	STANDARD	VAN	HYBRID	COMPACT	STANDARD	VAN	STANDARD	COMPACT	
P3	46	-	-	8	-	-	2	11	65



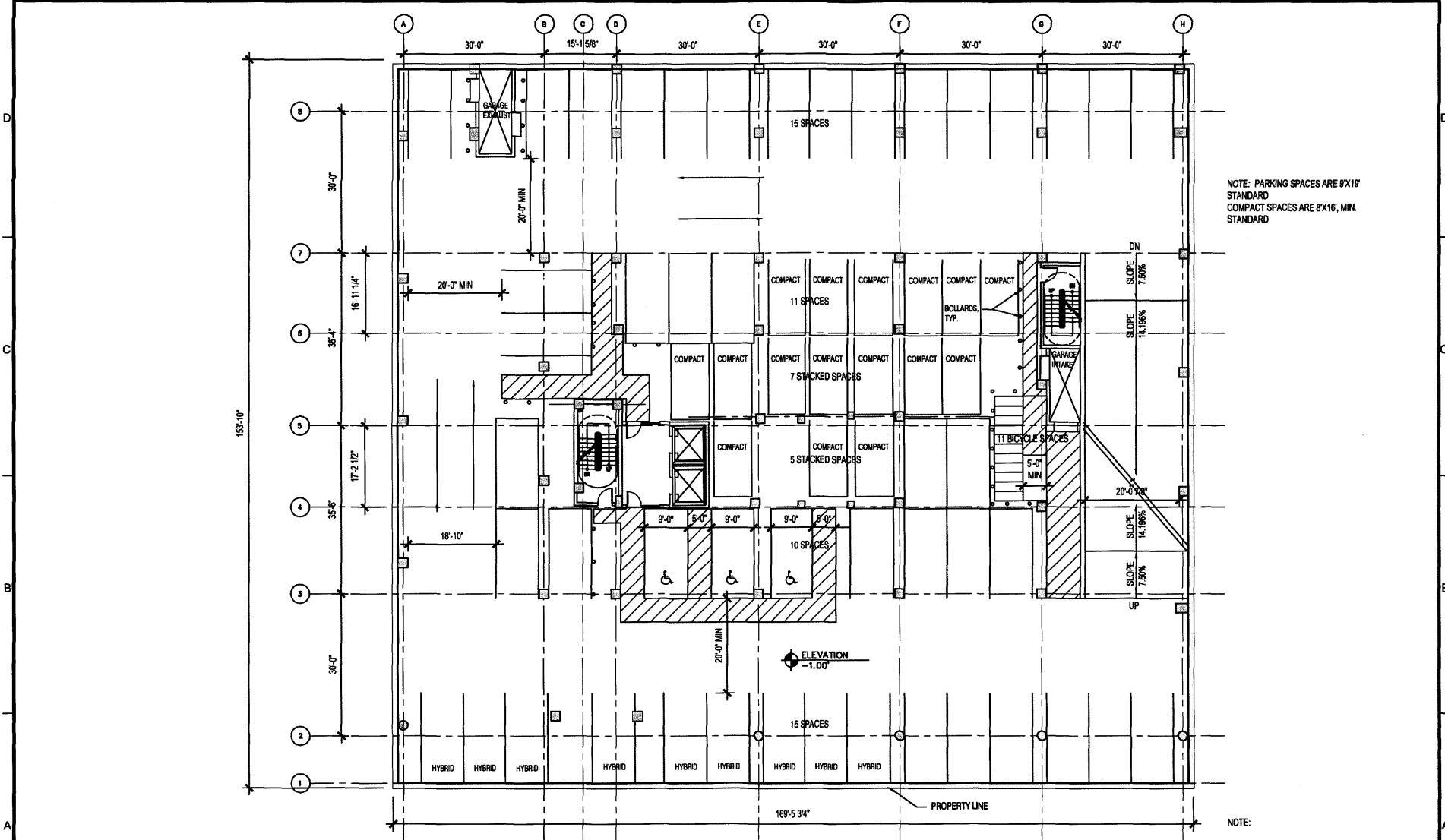
1025 31st Street, NW
Washington, DC 20007
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F 202.887.2260
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CONSULTANT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave, SE Suite 100
Washington, DC 20003

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
P-2 PARKING LEVEL PLAN
10 0 10 20 30

PROJECT NO.
05034.00
DRAWN BY
CMN
SCALE
1" = 20'-0"
DATE
05-03-07
DWG. NO.



NOTE: PARKING SPACES ARE 9'X11'
STANDARD
COMPACT SPACES ARE 8'X16', MIN.
STANDARD

NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING
PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS,
NOT AFFECTING THE EXTERIOR ENVELOPE OR THE
SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

LEVEL	TOTAL PARKING SPACES								TOTAL
	# OF SPACES				# OF SPACES				
	REGULAR		HANDICAP		STACKED		TOTAL		
	STANDARD	VAN	HYBRID	COMPACT	STANDARD	VAN	STANDARD	COMPACT	
P2	33	-	9	8	3	-	2	10	63

A1.03



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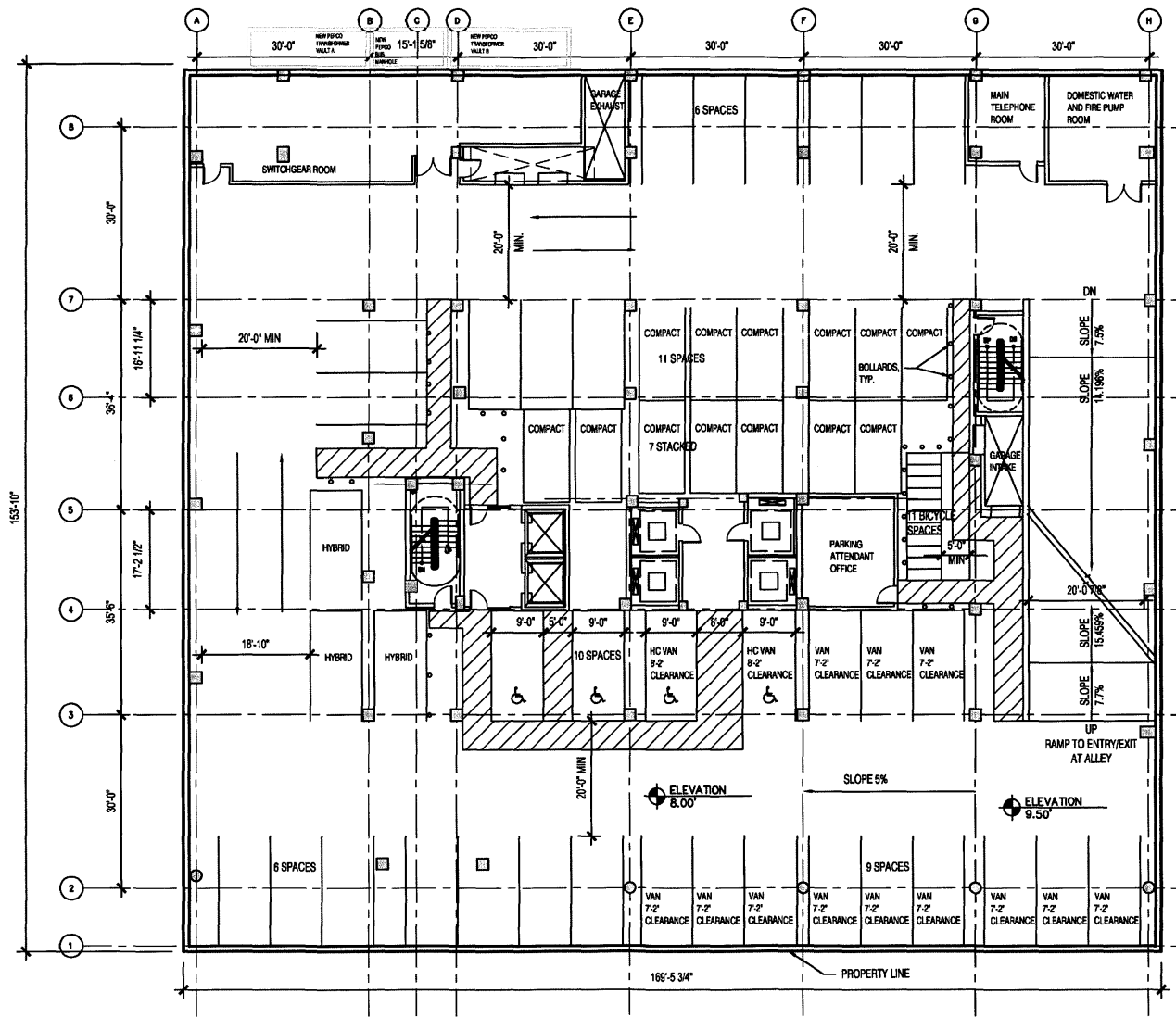
CONSULTANT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE, Suite 100
Washington, DC 20003

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
P-1 PARKING LEVEL PLAN

PROJECT NO
05034.00
DRAWN BY
CMN
SCALE
1" = 20'-0"
DATE
05-03-07
DWG. NO.

A1.04



NOTE: PARKING SPACES ARE 9'X19', STANDARD
COMPACT SPACES ARE 8'X16' MIN, STANDARD
BICYCLE SPACES ARE 2'X8', STANDARD

NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING
PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS,
NOT AFFECTING THE EXTERIOR ENVELOPE OR THE
SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

LEVEL	TOTAL PARKING SPACES								
	# OF SPACES								
	REGULAR				HANDICAP		STACKED		TOTAL
STANDARD	VAN	HYBRID	COMPACT	STANDARD	VAN	STANDARD	COMPACT		
P1	17	12	3	6	2	2	-	7	49

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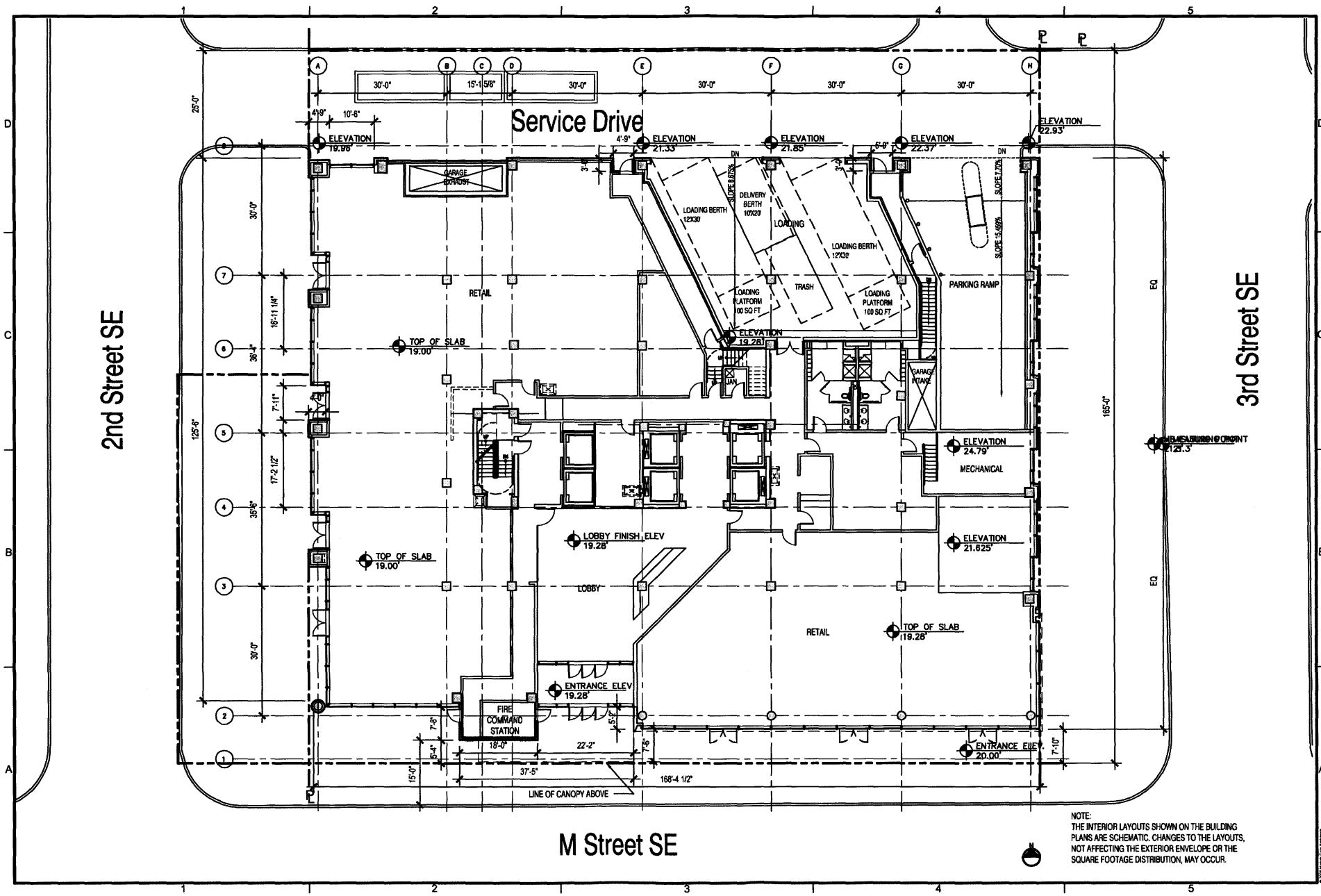
CONSULTANT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY, LLC
1100 New Jersey Ave. SE Suite 100
Washington, DC 20003

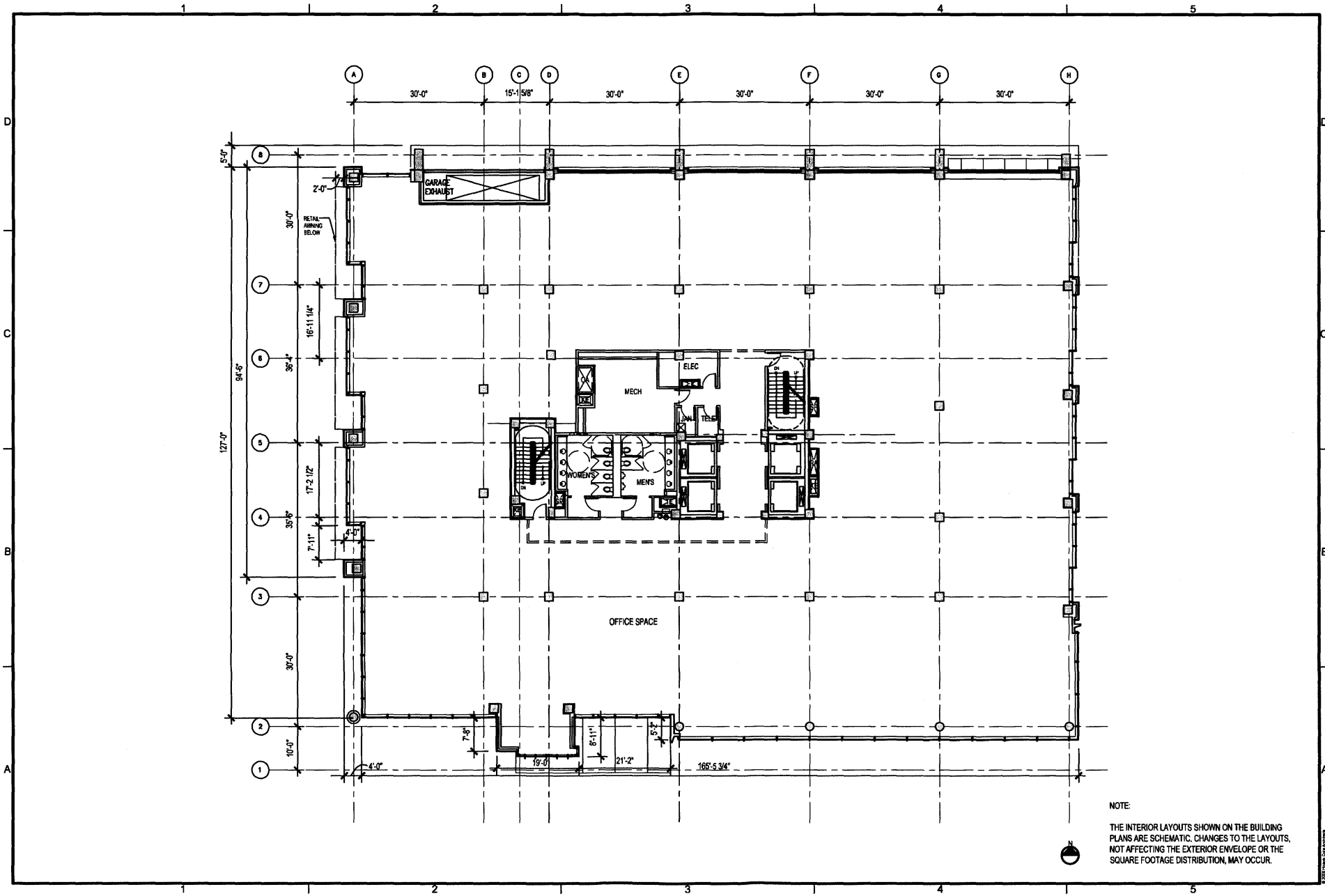
DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C003-13C
SITE PLAN AND FIRST FLOOR PLAN

PROJECT NO.
06034.00
DRAWN BY
CMN
SCALE
1" = 20'-0"
DATE
05-03-07
DWG NO.

A1.05



NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



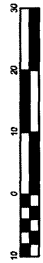
NOTE:
 THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

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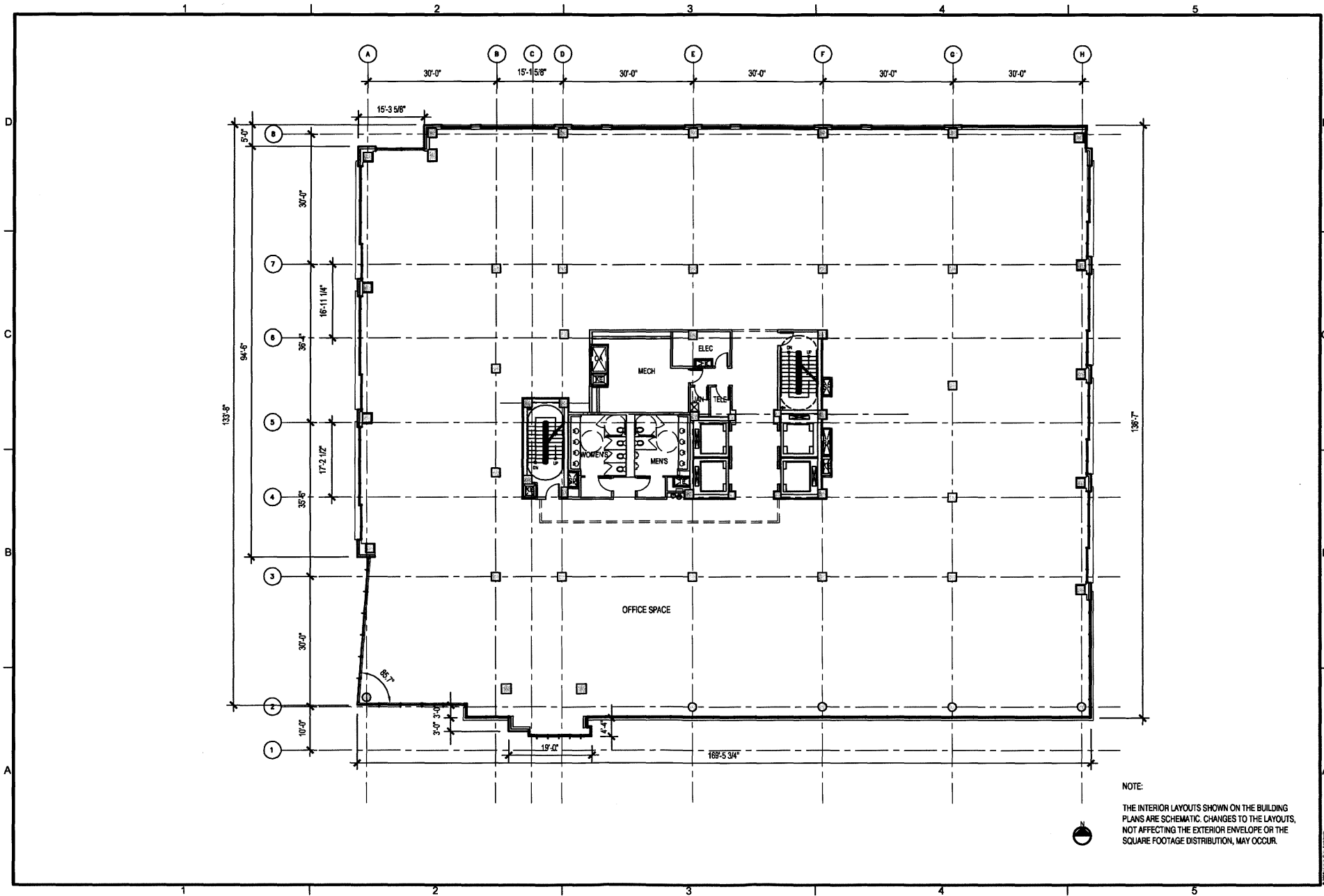
PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Jersey Ave., SE Suite 100
 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 SECOND FLOOR PLAN



PROJECT NO.
 05034.00
 DRAWN BY:
 CMN
 SCALE
 1" = 20'-0"
 DATE:
 05-03-07
 DWG NO.

A1.06



NOTE:
 THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



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CONSULTANT

PROJECT
 250 M STREET SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Jersey Ave. SE Suite 100
 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 TYPICAL THIRD THRU SIXTH FLOOR PLAN



PROJECT NO.
 05034.00
 DRAWN BY:
 CMN
 SCALE
 1" = 20'-0"
 DATE
 05-03-07
 DWG. NO.

A1.07



1023 51st Street, NW
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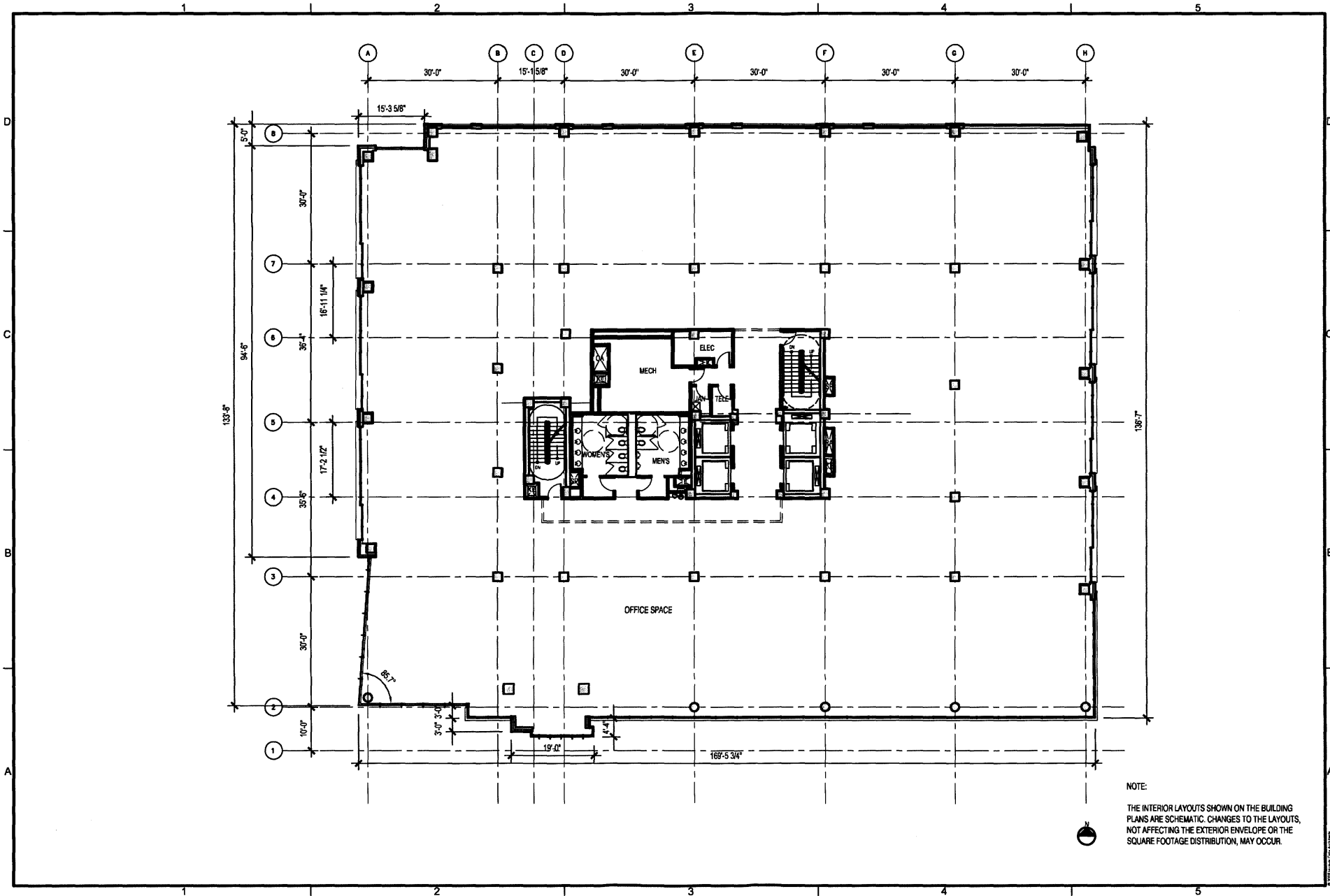
CONSULTANT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave, SE Suite 100
Washington, DC 20003

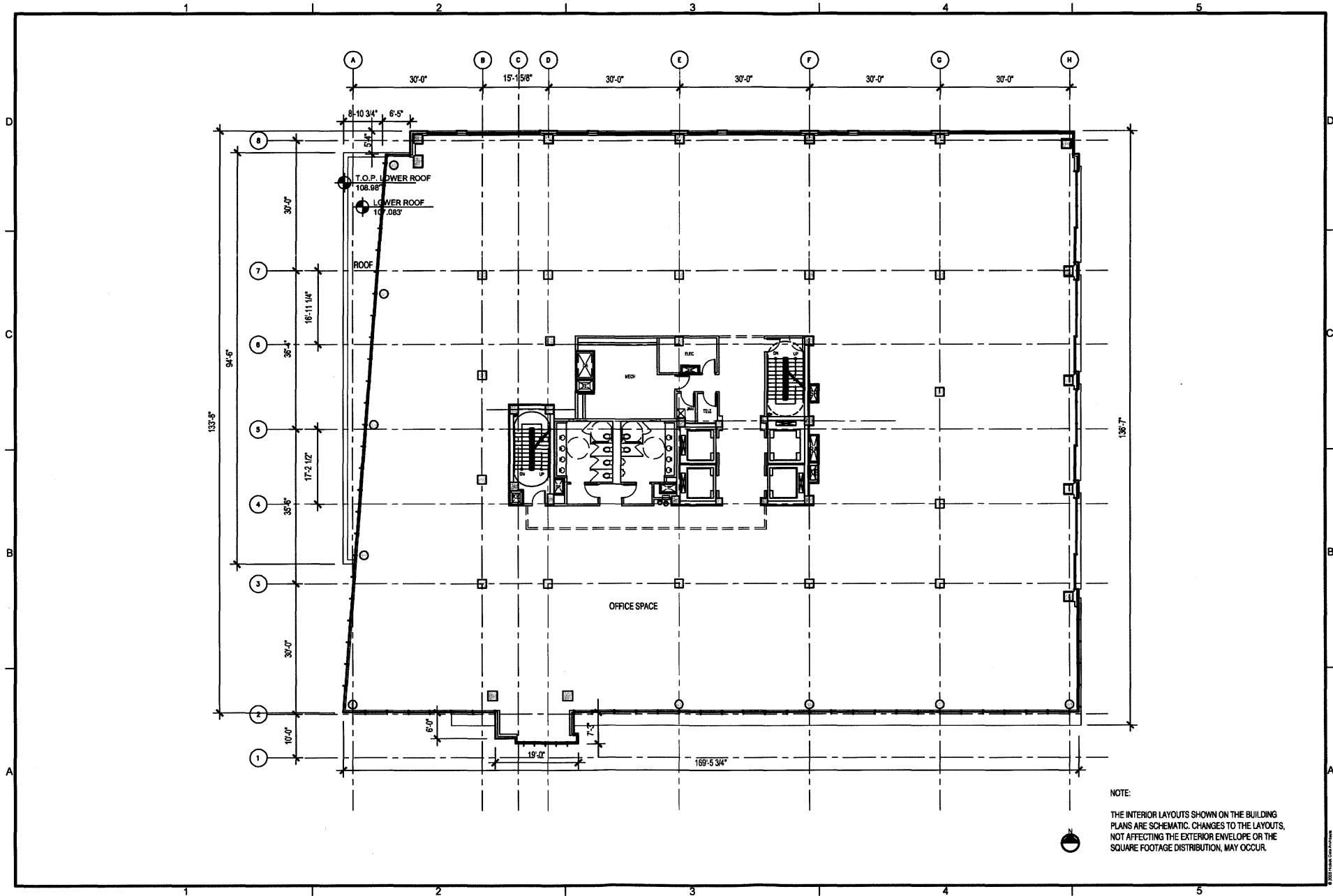
DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C03-13C
SEVENTH FLOOR PLAN

PROJECT NO.
05034.00
DRAWN BY
CMN
SCALE
1" = 20'-0"
DATE
05-03-07
DWG. NO.

A1.08



NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



NOTE:
 THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

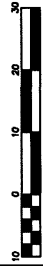


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 F 202.867.2960
 www.hickocole.com

CONSULTANT

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Jersey Ave, SE Suite 100
 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 TYPICAL EIGHTH THRU NINTH FLOOR PLAN



PROJECT NO.
 03034.00
 DRAWN BY:
 CMN
 SCALE
 1" = 20'-0"
 DATE
 05-03-07
 DWG. NO.

A1.09



1223 21st Street, NW
Washington, DC 20037
P: 202.857.3116
F: 202.857.2000
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CONTRACT NO.

PROJECT
250 M STREET, SE
SQUARE 789, LLC
1100 New Hampshire Ave. SE, Suite 1000
Washington, DC 20003

PROJECT

PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
PENTHOUSE/ROOF PLAN

DATE: 05-03-07

PROJECT NO.

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

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DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

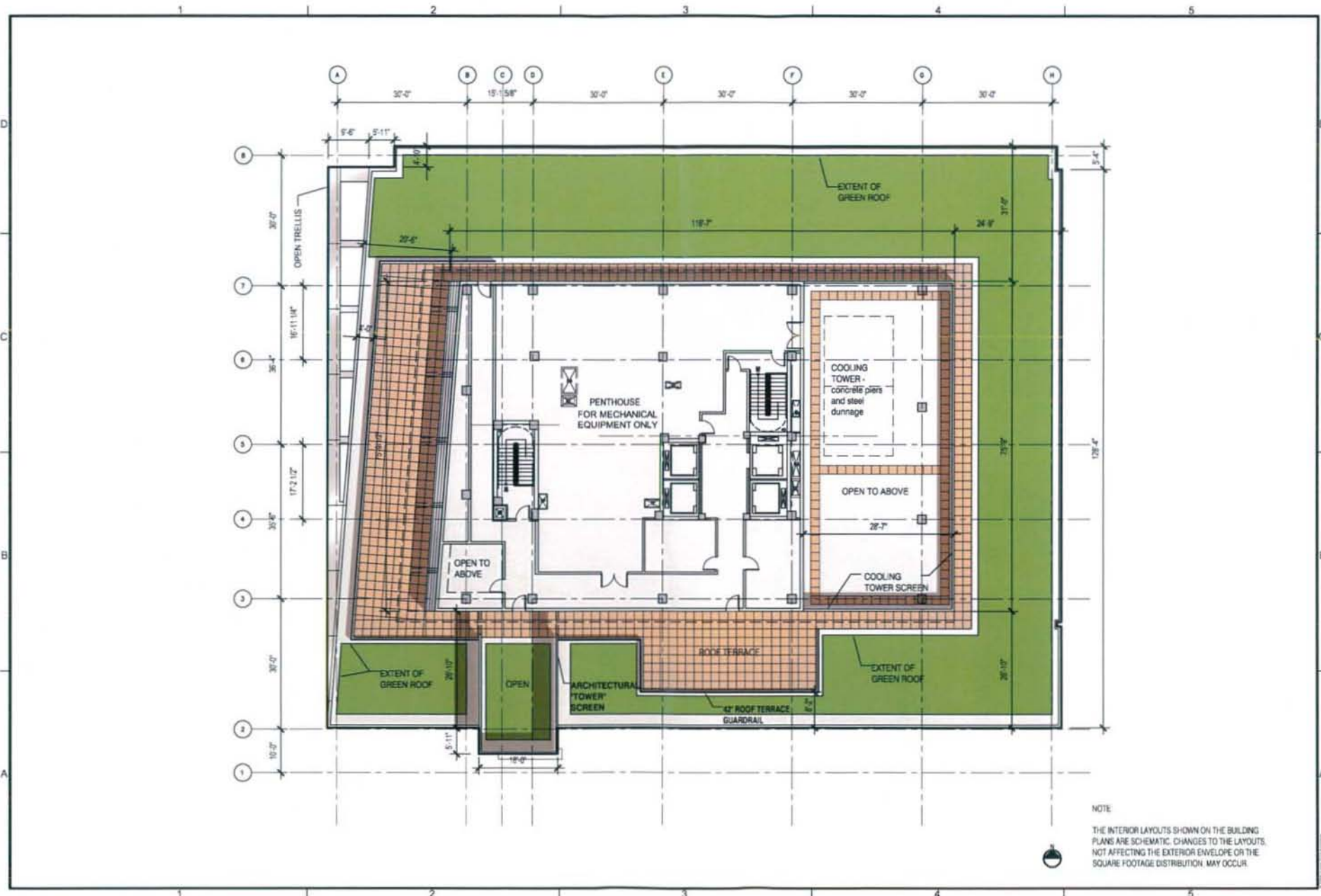
DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

DATE: 05-03-07

A1.10



NOTE
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.





100 TIG BROADWAY
 WASHINGTON, DC 20001
 P 202 861 2100
 F 202 867 2390
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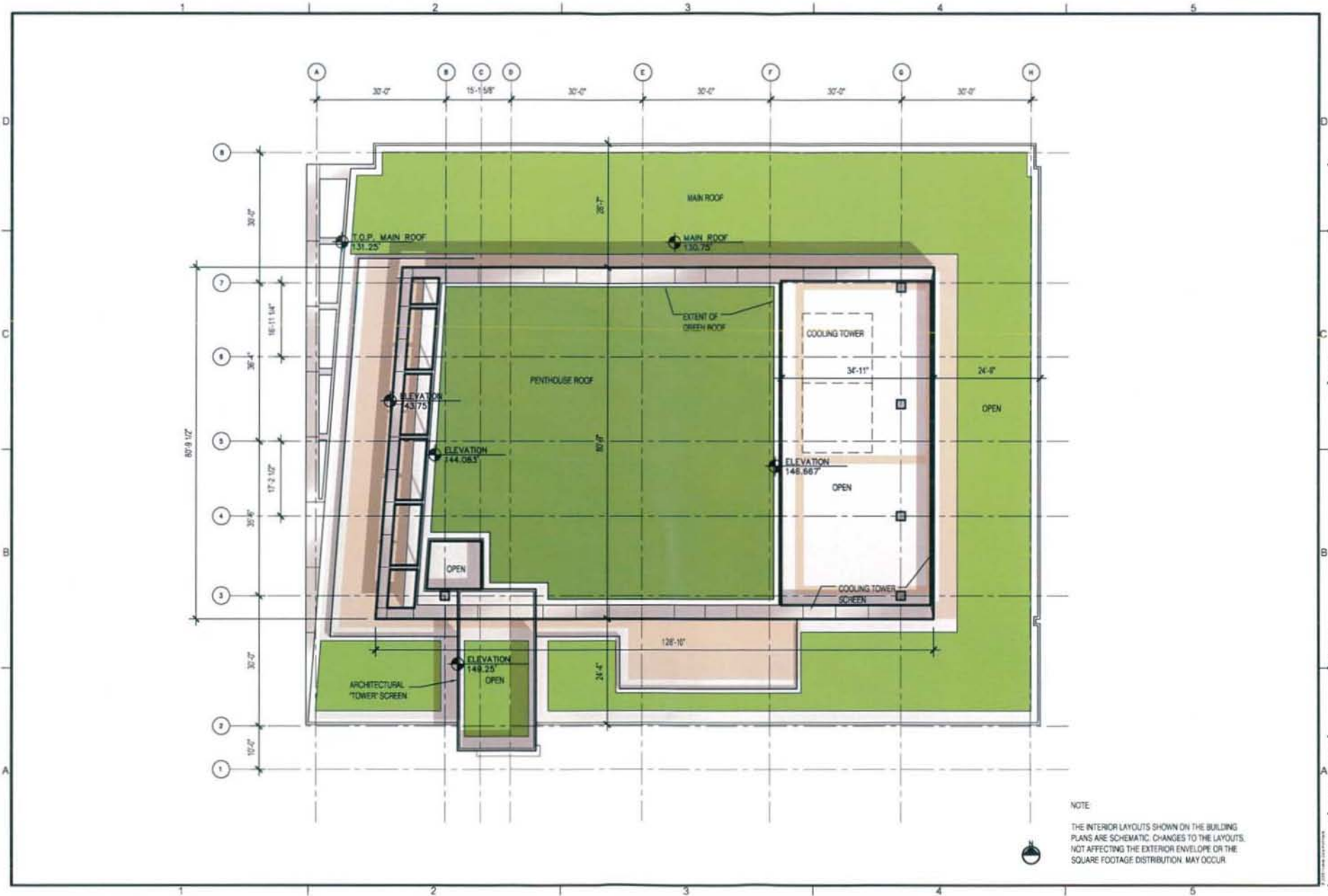
CONTRACT

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. BARTH & COMPANY
 1100 WASHINGTON, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C03-13C
 ROOF PLAN

PROJECT NO.
 03C03.00
 DRAWN BY
 CMN
 SCALE
 1" = 20'-0"
 DATE
 06-03-07
 SHEET NO.

A1.11



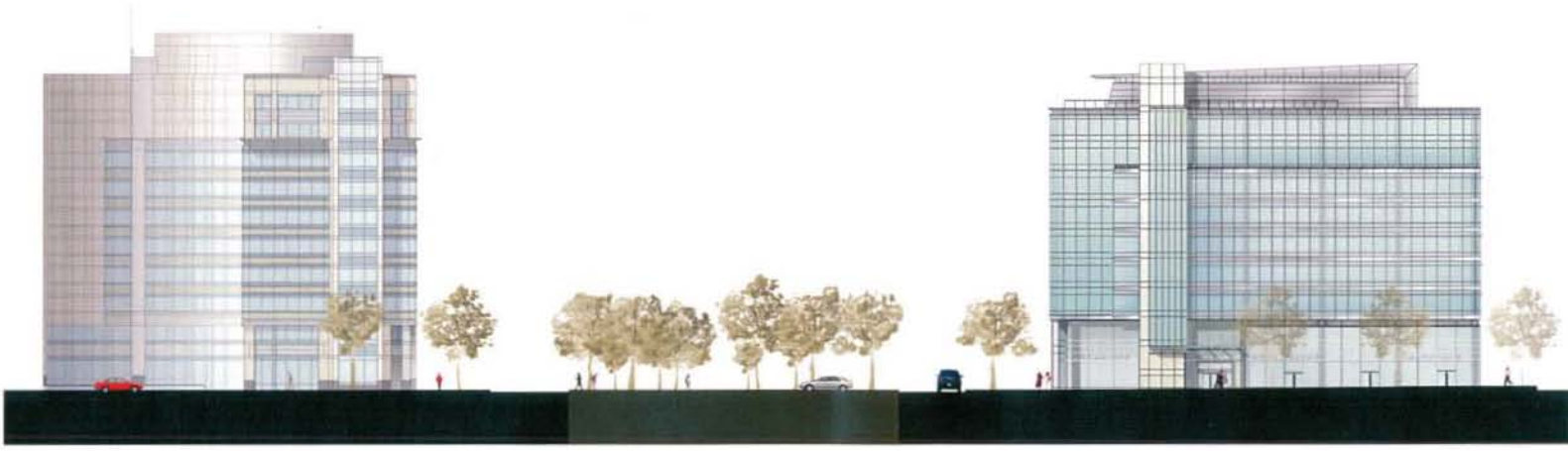
1 2 3 4 5

D

C

B

A



1100 NEW JERSEY AVE

CANAL PARK

250 M STREET, SE



1023 31st Street, NW
Washington, DC 20007
P 202 867 8716
F 202 867 2286
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CC04011017

PROJECT:
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave, SE, Box 1100
Washington, DC 20003

DATE: 08-09-07
SCALE: 1" = 50'-0"
DRAWN BY: CHS
PROJECT NO: 05034-01
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-
EXTENDED M STREET (SOUTH) ELEVATION



DATE: 08-09-07
SCALE: 1" = 50'-0"
DRAWN BY: CHS
PROJECT NO: 05034-01

A2.01A



1023 7th Street, NW
 Washington, DC 20007
 P: 202.801.2115
 F: 202.801.2182
 www.hickokcole.com

CORNELL, TAYLOR

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Jersey Ave., SE Suite 100
 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 BUILDING PERSPECTIVE

PROJECT NO.
 00034.00
 DRAWING BY
 CMN
 SCALE
 NTS
 DATE
 05-03-07
 CHECK NO.

A2.01B



NOTE: TREES ON 2ND STREET NOT SHOWN FOR GRAPHIC CLARITY.



1000 17th Street, NW
Washington, DC 20037
703.961.0176
703.961.2385
www.hickocole.com

LEWIS & TOMP

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE, Suite 100
Washington, DC 20003

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
BUILDING PERSPECTIVE
(TREES NOT SHOWN ON 2ND STREET
FOR GRAPHIC CLARITY)

PROJECT NO.
05034-00
DRAWN BY
CJM
SCALE
NTS
DATE
05-03-07
DWG. NO.

A2.01C



RENDERING CONVEYS BUILDING FACADE AT GROUND FLOOR



1000 7th Street NW
Washington, DC 20007
703.297.5176
703.497.2760
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CONTRACT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE Suite 100
Washington, DC 20003

PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
2ND STREET PERSPECTIVE

DATE

PROJECT NO.
05034.00
DRAWN BY
CJM
SCALE
NTS
DATE
05-03-07
DWG. NO.

A2.01D



1027 17th Street, NW
Washington, DC 20037
P 202.987.5170
F 202.987.7000
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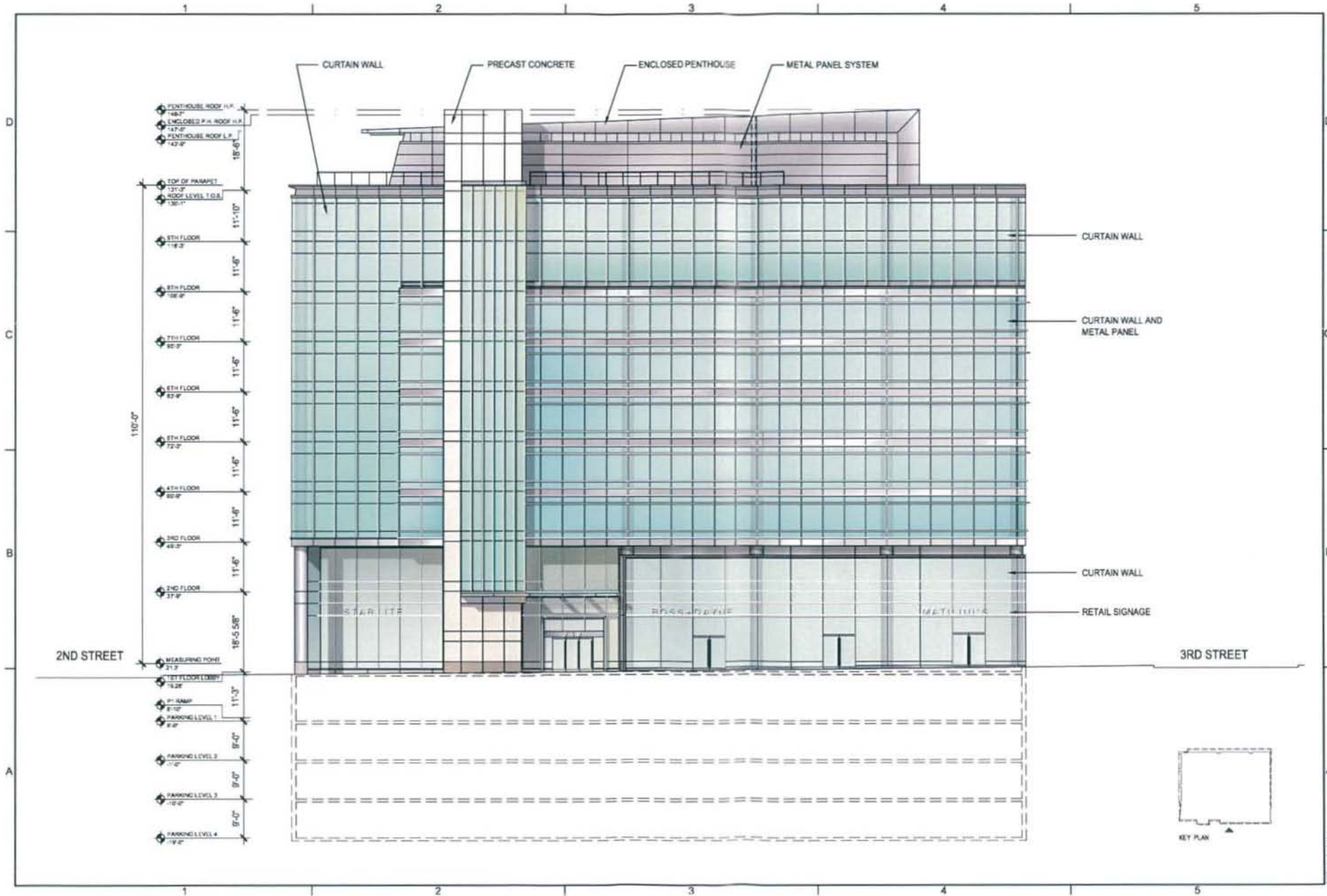
CORRECTION

PROJECT
250 M STREET, SE
SQUARE 789, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave, SE Suite 100
Washington, DC 20003

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
M STREET (SOUTH) ELEVATION

PROJECT NO.
06054.00
DRAWN BY
SCALE
1" = 20'-0"
DATE
05-03-07
DRG. NO.

A2.01



- PENTHOUSE ROOF H.P. 146'-7"
- ENCLOSED P.H. ROOF H.P. 147'-2"
- PENTHOUSE ROOF L.P. 147'-8"
- 18'-6"
- T.O.P. OF PARAPET 131'-3"
- ROOF LEVEL 1 G.S. 130'-1"
- 11'-10"
- 9TH FLOOR 118'-2"
- 11'-6"
- 8TH FLOOR 108'-8"
- 11'-6"
- 7TH FLOOR 98'-2"
- 11'-6"
- 6TH FLOOR 87'-8"
- 11'-5"
- 5TH FLOOR 77'-2"
- 11'-6"
- 4TH FLOOR 66'-8"
- 11'-6"
- 3RD FLOOR 56'-2"
- 11'-6"
- 2ND FLOOR 45'-8"
- 11'-6"
- 18'-5.58"
- MEASURING POINT 21'-7"
- 1ST FLOOR LOBBY 13'-2"
- 11'-3"
- BI-RAMP 8'-10"
- PARKING LEVEL 1 8'-0"
- PARKING LEVEL 2 8'-0"
- PARKING LEVEL 3 10'-0"
- PARKING LEVEL 4 10'-0"

CURTAIN WALL

CURTAIN WALL AND METAL PANEL

CURTAIN WALL

RETAIL SIGNAGE



KEY PLAN



1022 S 14th Street, Suite 400
 Washington, DC 20007
 P 202 861 8176
 F 202 861 8788
 www.hickokcole.com

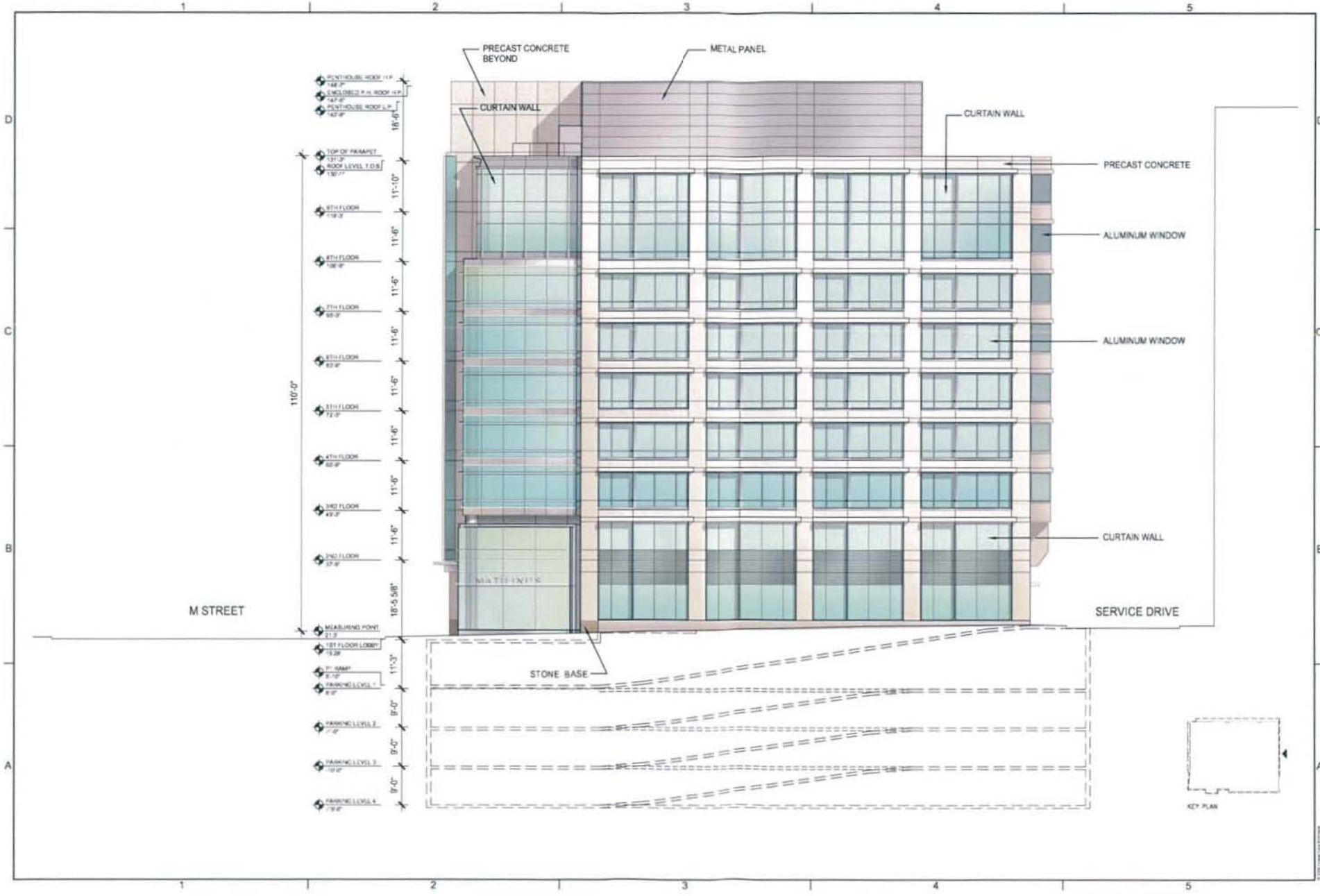
CONCRETE

PROJECT
 2500 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Albany Ave., SE Suite 100
 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-120/03-13C
 3RD STREET (EAST) ELEVATION

PROJ. & DATE
 05034.00
 DRAWN BY
 SCALE
 1" = 20'-0"
 DATE
 05-03-07
 DRW. NO.

A2.02





100 17th Street NW
Washington, DC 20037
703.897.0100
703.897.1900
www.hickokcole.com

COND. & TYP.

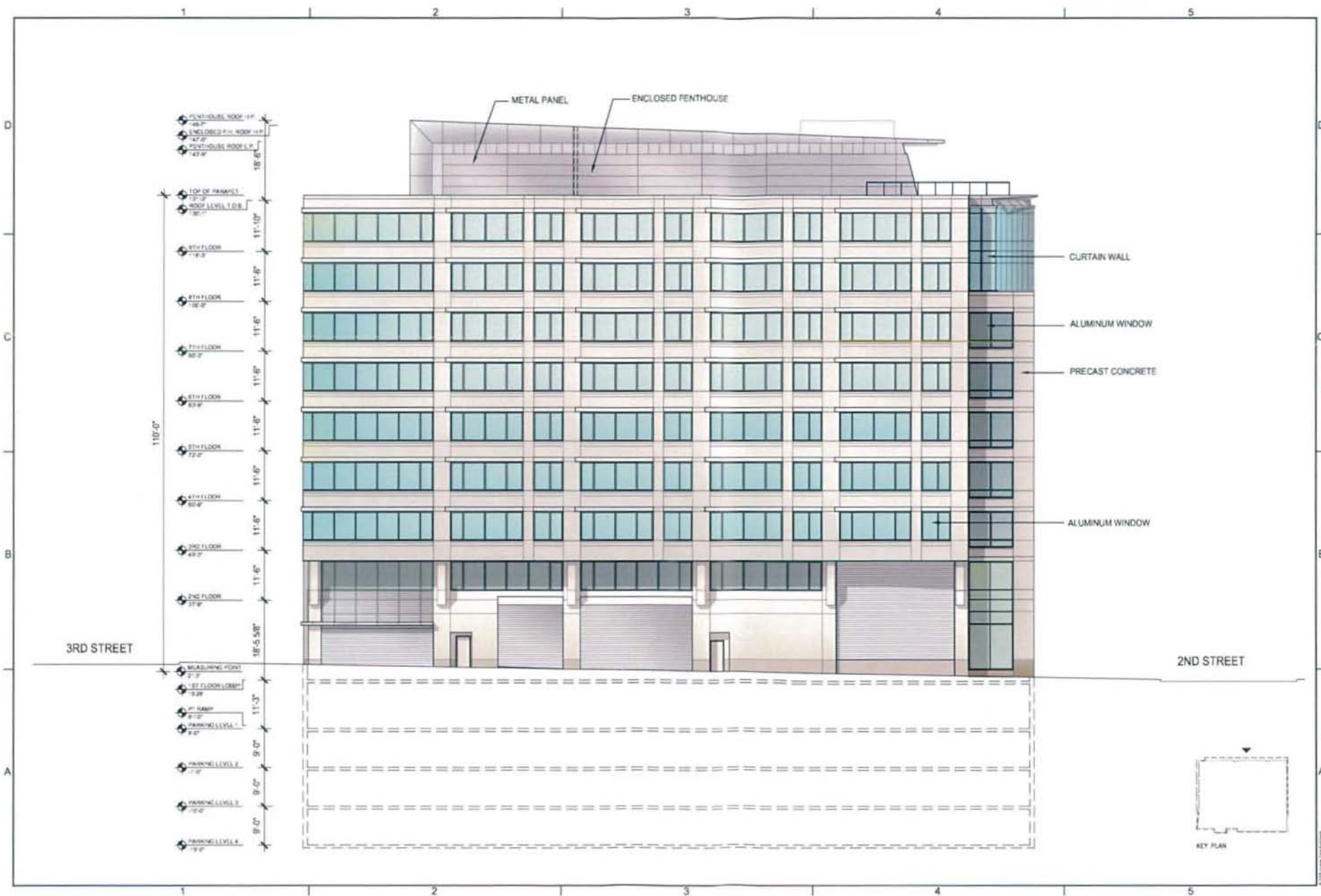
PROJECT
250 M STREET, SE
SQUARE 789, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave, SE, Suite 100
Washington, DC 20003

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
SERVICE DRIVE (NORTH) ELEVATION



PROJECT NO.
05034.00
DRAWN BY
SCALE
1" = 20'-0"
DATE
05-03-07
DWG. NO.

A2.03





1021 7th Street, SE
 Washington, DC 20003
 P: 202 891-2100
 F: 202 891-7100
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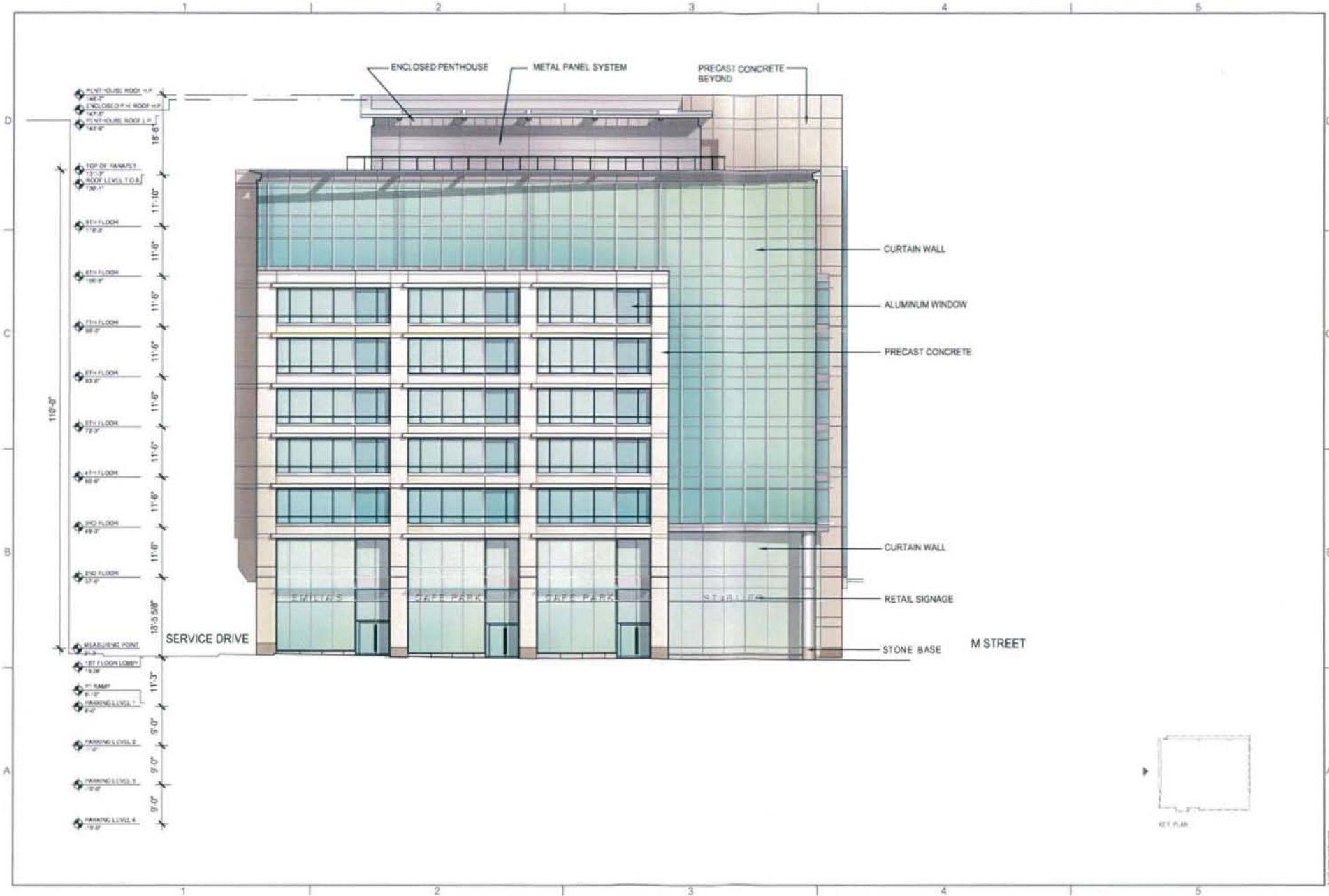
DATE: 11/14/17

PROJECT:
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Johnson Ave., SE Suite 105
 Washington, DC 20003

PROJECT NO:
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 2ND STREET (WEST) ELEVATION

PROJECT NO:
 0503430
 DRAWN BY:
 TITLE:
 1" = 20'-0"
 DATE:
 05-03-07
 SHEET NO:

A2.04





1022 The Wood Way
Washington, DC 20007
P 202 587 2176
F 202 587 2160
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CONTRACT

PROJECT
250 M STREET, SE
SQUARE 788, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE, Suite 100
Washington, DC 20003

DESIGNED BY
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
TYPICAL BAY ENLARGED ELEVATION



PROJECT NO.
02034.00
DRAWN BY
SCALE
1/8" = 1'-0"
DATE
05-03-07
DWG NO.

A2.05



1023 31st Street, NW
Washington, DC 20007
P 202.867.5178
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www.hickokcole.com

CONSULTANT

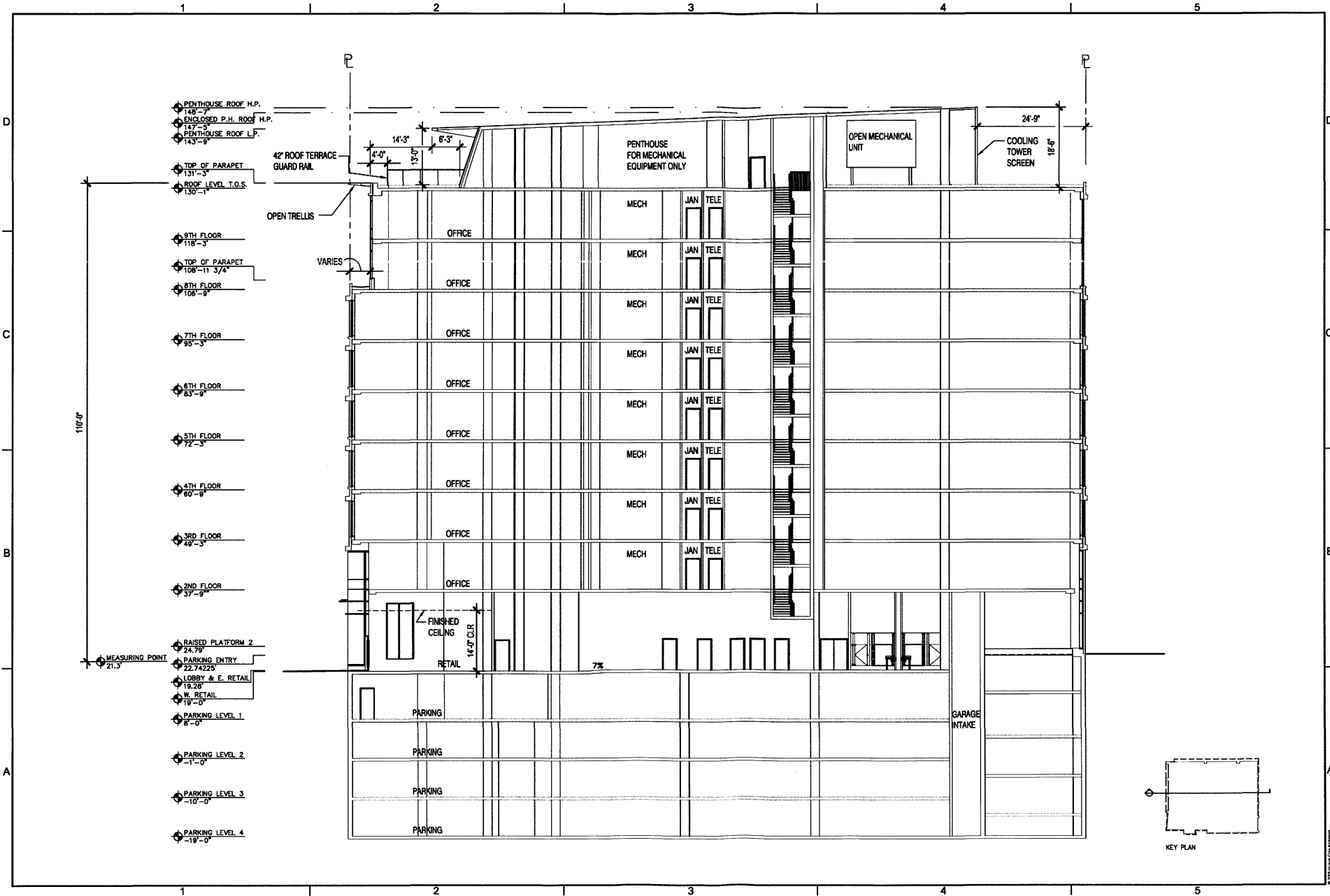
PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE, Suite 100
Washington, DC 20005

DRAWING TITLE
PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
E/W BUILDING SECTION



PROJ. ECT NO.
05034.00
DRAWN BY
CMN
SCALE
1" = 20'-0"
DATE
05-03-07
DWG. NO.

A3.01





1023 31st Street, NW
 Washington, DC 20007
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CONSULTANT

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Jersey Ave. SE Suite 100
 Washington, DC 20003

DRAWING TITLE
 PRE-HEARING SUBMISSION, CASE NO. 03-12C/03-13C
 N/S BUILDING SECTION

PROJECT NO
 05034.00
 DRAWN BY
 CLM
 SCALE
 1" = 20'-0"
 DATE
 05-03-07
 DWG NO

A3.02

